

***PLANNING JUSTIFICATION REPORT AND URBAN DESIGN BRIEF
OFFICIAL PLAN & ZONING BY-LAW AMENDMENTS
1858 LIVERPOOL ROAD, CITY OF PICKERING***



Proposed 100-Unit Condominium Apartment/Commercial

***Prepared by:
Grant Morris Associates Ltd.
Date: July 1st, 2019
Revised: November 2nd, 2019***

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**PLANNING JUSTIFICATION REPORT & URBAN DESIGN BRIEF
1854 & 1858 LIVERPOOL ROAD, CITY OF PICKERING
PREPARED BY GRANT MORRIS ASSOCIATES LTD.**

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EXHIBITS:

Tab 1	Excerpt of By-law 7553/17
Tab 2	i) Excerpt of By-law 3036 for 1858 Liverpool Road ii) Copy of By-law 5850/01 for 1862 Liverpool Road iii) Copy of By-law 6887/08 for 1866 Liverpool Road iv) Copy of 4362/93 for 1857 Glendale Drive
Tab 3	Proposed Preliminary Plans, Site Plan Perspective, Plans and Elevations for 1854 & 1858 Liverpool Road
Tab 4	Shadow Study
Tab 5	Map of Parks in the City of Pickering
Tab 6	EIS – Comment on Natural Heritage Features, dated July, 2019. EIS Report dated November 2019
Tab 7	Arborist Report, prepared by David White, dated May 15th, 2019
Tab 8	Conceptual Landscape Plan
Tab 9	Copy of Development Charges for the City of Pickering

PLANNING & JUSTIFICATION REPORT & URBAN DESIGN BRIEF
PREPARED BY GRANT MORRIS ASSOCIATES LTD.

DESCRIPTION: <i>MUNICIPALLY KNOWN AS 1854 & 1858 LIVERPOOL ROAD, CITY OF PICKERING, DESCRIBED AS LOTS 24 & 25, REGISTERED PLAN 492</i>
PROPOSAL: <i>FOR THE DEVELOPMENT OF A 100-UNIT RESIDENTIAL CONDOMINIUM APARTMENT BUILDING ON 13 FLOORS THAT MAY CONTAIN COMMERCIAL USES ON THE GROUND FLOOR</i>
OWNER: <i>ALIREZA AJEDANI, CARRYING ON BUSINESS AS LIVERPOOL ESTATES.</i>
NEIGHBOURHOODS: <i>NEIGHBOURHOOD 8, CITY CENTRE, (FOR 1854) AND NEIGHBOURHOOD 12, LIVERPOOL, (FOR 1858)</i>

Figure 1 - Subject Property & Vicinity:



1.0 INTRODUCTION:

Grant Morris Associates Ltd. has been retained by the owner, Alireza Ajedani, carrying on business as Liverpool Estates, to provide a professional Planning Opinion for the development of two adjoining properties municipally known as 1854 and 1858 Liverpool Road in the City of Pickering, hereinafter called *the*

Subject Lands, which the owner proposes to develop for a ***100-unit apartment (condominium) building having thirteen (13) floors with commercial development on the ground floor.***

Applications for both an Amendment to the Official Plan and an Amendment to the Zoning By-law 3036 for 1858 Liverpool Road will be submitted with this Planning Report. This will provide a Planning Analysis and Justification for the proposal in accordance with good land use planning principles.

2.0 PURPOSE OF REPORT:

The applications for a Draft Official Plan Amendment and Draft Implementing Zoning By-law, together with this Planning Justification & Urban Design Brief Report and ***certain applicable studies and reports required as a result of the pre-consultation meeting with the City of Pickering***, will precede applications for the preparation of a Site Plan and a Draft Plan of Condominium.

This Planning Report is intended to provide justification for the proposed development in the context of the Planning Act, the Provincial Policy Statement (PPS), the Growth Plan for the Greater Golden Horseshoe (GPGGH), the Region of Durham Official Plan, the City of Pickering Official Plan, the City of Pickering Zoning By-law and the guidelines for Neighbourhood 8 City Centre.

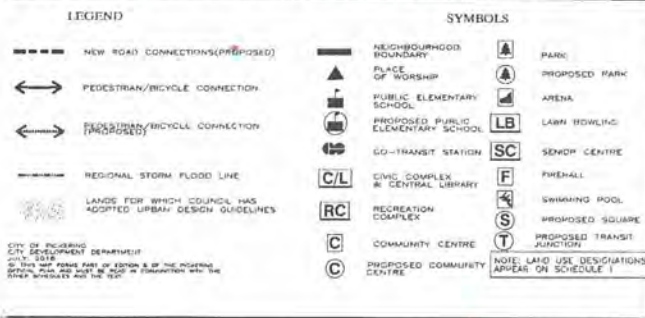
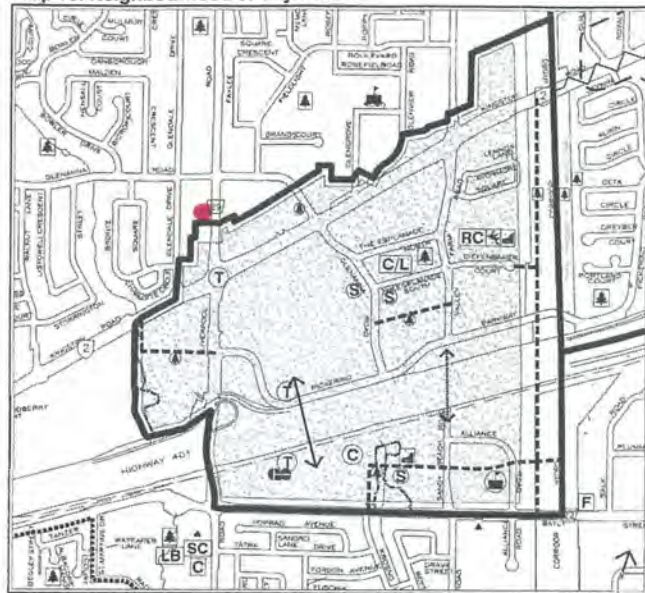
In addition, this report is intended to provide a basis for the advancement of the required Planning applications through the Planning Process. Section 37 of the Planning Act will form the basis for compensation to justify the increased density ***and to indicate why the requirement related to the 45-degree angular plane as set out in Section 4.2.c)i) of the Zoning By-law 7553/17 should not apply.***

3.0 SITE DESCRIPTION CONTEXT:

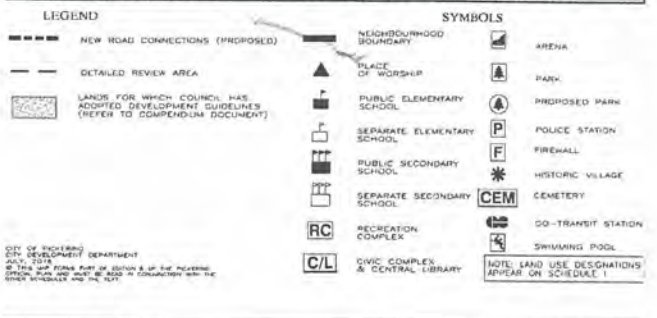
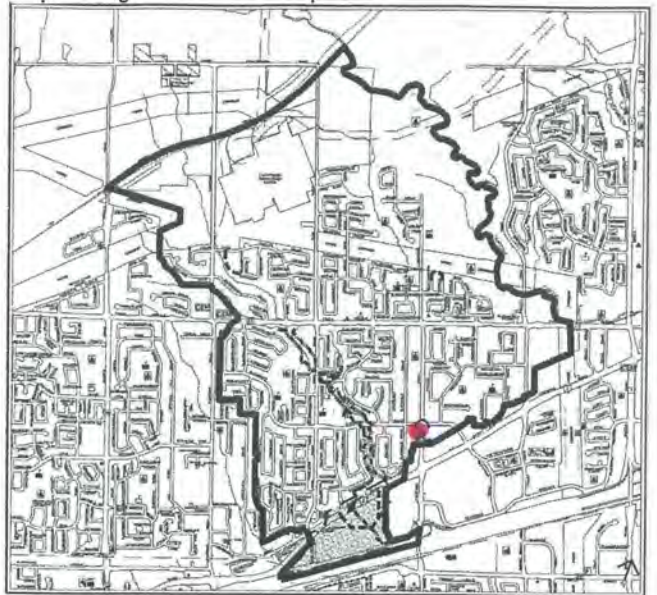
The subject lands are located at 1854 & 1858 on the west side of Liverpool Road in the City of Pickering and are legally described as Lots 24 & 25, Registered Plan 492. They are approximately one block north of Kingston Road. ***1854 lies within Neighbourhood 8 City Centre*** whereas 1858 lies within Neighbourhood 12 Liverpool.

Figure 2 - Neighbourhood Maps showing the Property at 1858 Liverpool Road.

Map 18: Neighbourhood 8: City Centre



Map 22: Neighbourhood 12: Liverpool



● SITE of 1858 Liverpool Road

The subject property has an area of .74 acres (2,993 m²) with a frontage of approximately 54.86 metres along the west side of Liverpool Road, with a depth of 53.56 metres. It contains two separate properties which are in common ownership.

1854 Liverpool Road hosts a bungalow which, until recently, was being used to house a Dentist's office, but is currently vacant. It is designated as part of the Town Centre in the City of Pickering Official Plan and zoned Mixed Use area in the CC1 Zone of By-law 7553-17. *Copy of By-law 7553-17 is included as Tab 1.*

1858 Liverpool Road, on the other hand, contains a bungalow which is currently being rented out. It is designated Medium Density Area in the City's Official Plan

and zoned Residential R3 in By-law 3036. Both 1854 & 1858 are designated in the Regional Official Plan as an Urban Growth Centre where High Rise and Mid Rise Developments are encouraged. 1854 & 1858 are on full municipal services, contain mature trees, mostly Cedars and Norway Spruce at the rear of 1854, and along its south and north boundaries, with an overgrown hedgerow between 1854 & 1858. The Arborist Report, prepared by Andrew White, dated May 15th, 2019, **included as Tab 7**, recognizes a number of these trees which will be removed to make way for the proposed development. On the south boundary of 1858, there are large trees, Nos. 45, 46, & 47 (Silver Maples) with fused trunks. In addition, there are three existing trees, Nos. 48, 49 & 50 (Silver Maple), within close proximity to the boundary line between 1858 and 1862. These trees threaten the houses on 1858 & 1862, which are 80 years old and in need of repairs. The Arborist Report indicates that these trees are in poor condition and the owner wishes to remove them.



Figure 3
Map City Centre

As stated earlier, the subject property is located in an existing Residential and Commercial Neighbourhood. 1854 is located in Neighbourhood 8, City Centre as

shown on Map 18, Neighbourhood 8, City Centre of the Official Plan. While 1858 is located in Neighbourhood 12: Liverpool, included as Map 22, Neighbourhood 12: Liverpool of the City's Official Plan. The surrounding land uses are as follows:

North: 1862 and 1866 are designated Medium Density Area in the Pickering Official Plan. 1862 is zoned R3-MU in By-law 5850/01 to permit detached dwelling, personal service shop, business and professional office and limited retail store, whereas 1866 is zoned R3-MU-1 in By-law 6887/08 to permit a veterinary clinic, business office, professional office and a dwelling unit. *Copies of these by-laws are included as Tab 2.*

East: Liverpool Road, a major collector road in the City, lies to the immediate east of the property with a commercial plaza on the east side of this road. This plaza also fronts on the north side of Kingston Road and is anchored by the Pacific Fresh food Market, while on the south side of Kingston Road lies the Pickering Town Centre Commercial Complex, which serves as a major employment centre in the City. Restaurants, beer store, a gas station and commercial development are on the outskirts of this complex. The new Pickering Arts Centre and a High Density Condominium development are slated to be part of the Pickering Town Centre Complex.

South: Immediately to the south of the property lies a day care centre, a small plaza and the Liverpool House Restaurant. These uses are in one ownership and the owner is seeking to redevelop the site to include a 7-unit town house development, a 12-storey apartment building, a 25-storey apartment building while retaining the Liverpool House Restaurant as a Heritage Building. Some 391 residential units are proposed on this property. On the south side of Kingston Road lie a gas station, a small commercial plaza, some restaurant facilities and a major food store.

West: To the west backing onto the subject property lies 1857 Glendale Drive which is designated Medium Density Area in the Pickering Official Plan and zoned RM 1-4 in By-law 4362/93 which permits multiple dwelling – horizontal & semi-detached dwelling Residential Use. The owner of this property has expressed a strong desire to develop this property for Higher Density Development. Also, north of

1857 lies part of a townhouse complex while to the south lies a detached dwelling and some semi-detached housing. *Copy of By-law 4362/93 is included as Tab 2.*

4.0 DISCUSSIONS WITH THE OWNERS OF 1862 & 1866 LIVERPOOL ROAD

(Figure 4 - Photograph of 1862 & 1866 Liverpool Road)



Before preparing this Planning and Justification Report, the two owners immediately to the north, at 1862 & 1866, were contacted with a view to my client purchasing these two properties or entering into an exchange agreement for units in the new building or including them in the Official Plan and Zoning By-law amendments.

The offer for 1862, dated March 27th, 2019, was:

- 1) A cash payment of \$1,300,000.00, or
- 2) Three (3) 1-bedroom apartments, or
- 3) One (1) commercial unit of 800 sq. ft. approximately, and two (2) one-bedroom condo units.

The offer for 1866 (the Veterinary Clinic), also dated March 27th, 2019, was:

- 1) A cash payment of \$1,300,000.00, or

- 1) A cash payment of \$1,300,000.00, or
- 2) Three (3) 1-bedroom condo units, or
- 3) One (1) commercial unit of 800 sq. ft. approximately plus parking and washroom facilities which could be used as a Veterinary Clinic, and two (2) one-bedroom condo units.

No counter offers were received from these owners, despite our follow-up telephone conversations.

We also indicated to both of these owners that if they were not interested in any of the above offers, it would be in their best long term interest to share in the cost of a joint application to have their lands included in the Town Centre designation and zoned to permit future High Density Development. Although the owners of 1862 expressed an interest in developing their property for Commercial or High Density Development in the future, they declined our offers and suggestions, so did the owner of 1866. It would seem that any meaningful development of these properties would be by way of a combined development proposal in the future. However, given the lack of interest in my client's proposal, my client elected to proceed with his development.

5.0 THE PROPOSAL:

The owner, (carrying on business as Liverpool Estates at 1854 and 1858 Liverpool Road), proposes to develop a 13-storey apartment condominium building having one hundred residential one, two and three-bedroom units, two penthouse units with possible commercial development on the ground floor.

The design of the proposed building will provide for approximately one hundred and twenty (120) parking spaces, a library, a recreational room and a party room.

It was also taken into account that 1854 Liverpool Road is located within the Pickering Town Centre where High Density Residential and Commercial Uses are permitted, whereas 1858 Liverpool Road is located within an area designated in the Pickering Official Plan as Medium Density Area and zoned Residential R3 in By-law 3036 which permits a detached dwelling.

The fact that 1858 adjoins 1854 to the north makes it a suitable candidate for Higher Density Development and as part of the Town Centre Designation.

5.1 PRELIMINARY SITE PLANS, PERSPECTIVES, FLOOR PLANS & BUILDING SECTIONS



BUILDING INFORMATION

CLASSIFICATION:	APARTMENT/ CONDO
ABOVE GRADE LEVELS:	13
BELOW GRADE LEVELS:	2
NUMBER OF (R) UNITS:	98
PARKING SPACES:	126

SOUTH SIDE
FACING ADJACENT
PROPERTY

EAST SIDE
MAIN ENTRANCE
FACING LIVERPOOL RD

EXTERIOR VIEW 1

PROPOSED 13-STORY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT
25 Bayside Gate, Whitby ON L1N 9W5
416 371 7588
emilio.deleon@rogers.com

DATE: OCT. 31, 2019
ISSUED FOR: O.P. AMENDMENT
SCALE: 1/32" = 1'-0"

A-1





SOUTH SIDE
FACING ADJACENT PROPERTY

EAST SIDE FACING
LIVERPOOL ROAD

EXTERIOR VIEW 2

PROPOSED 13-STORY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

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OCT. 31, 2019

ISSUED FOR:
O.P. AMENDMENT

SCALE:
1/32" = 1'-0"

A-2





EAST SIDE OF PROPERTY
 MAIN BUILDING ENTRANCE
 FACING LIVERPOOL ROAD

EXTERIOR VIEW 3

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

DATE:
 OCT. 31, 2019

ISSUED FOR:
 O.P. AMENDMENT

SCALE:
 1/32" = 1'-0"

A-3





SITE PLAN

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

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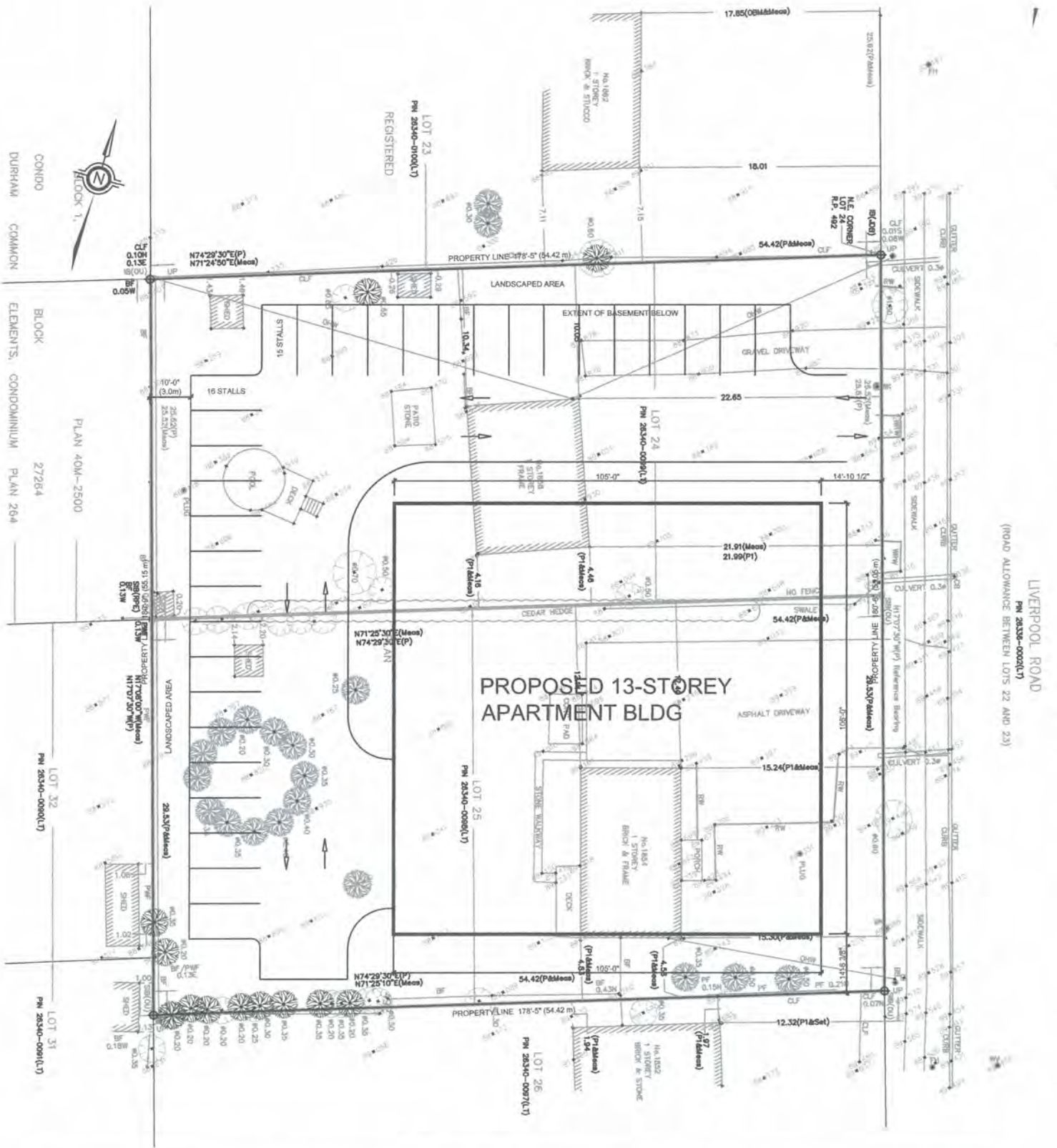
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 OCT. 31, 2019

ISSUED FOR:
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SCALE:
 1/32" = 1'-0"

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LIVERPOOL ROAD
 PM 28340-0001(L)
 (ROAD ALLOWANCE BETWEEN LOTS 22 AND 23)

EXISTING SURVEY OVERLAY

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

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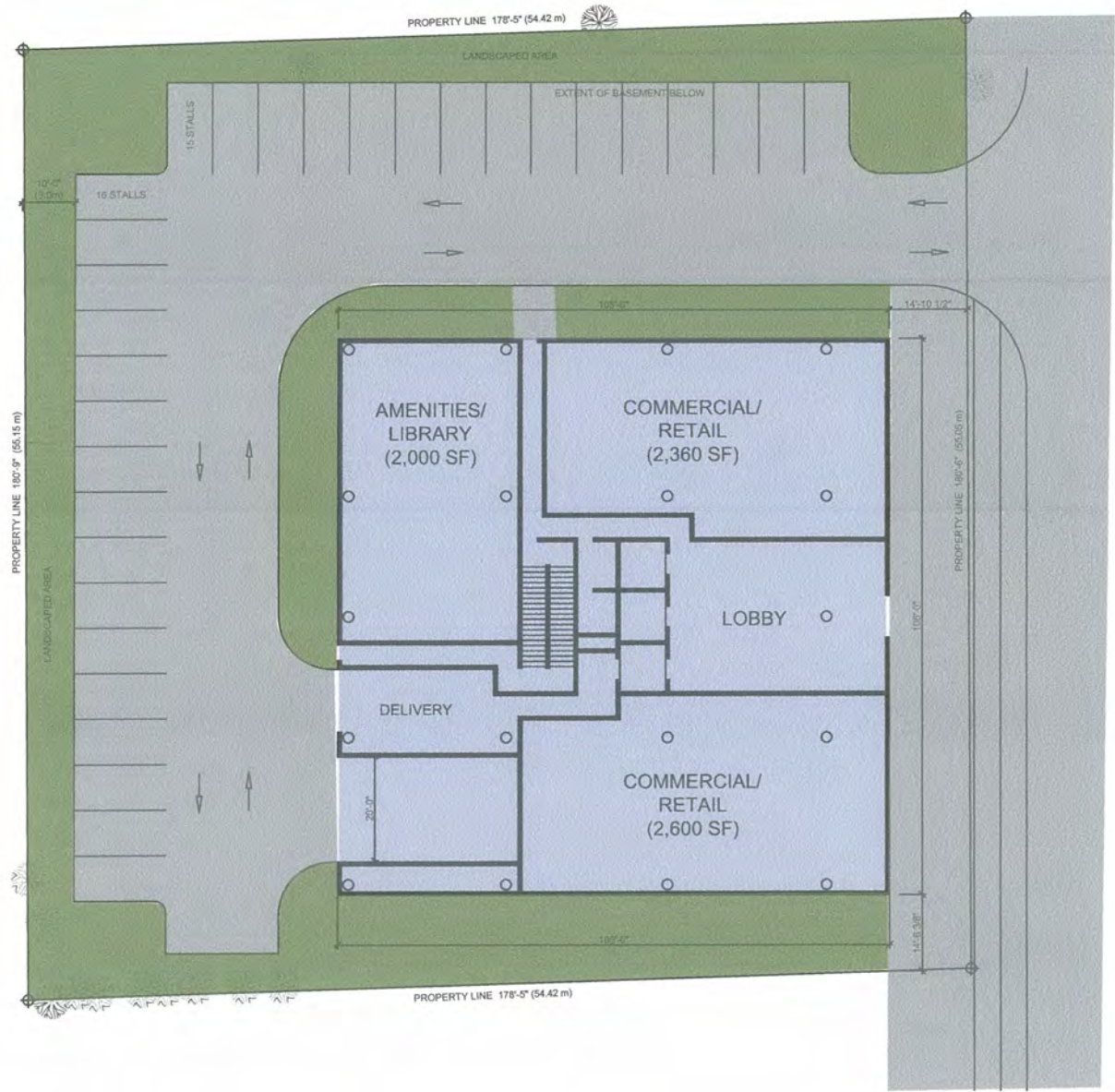
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SCALE:
 1/32" = 1'-0"

A-5





GROUND FLOOR PLAN

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

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 emilio.deleon@rogers.com

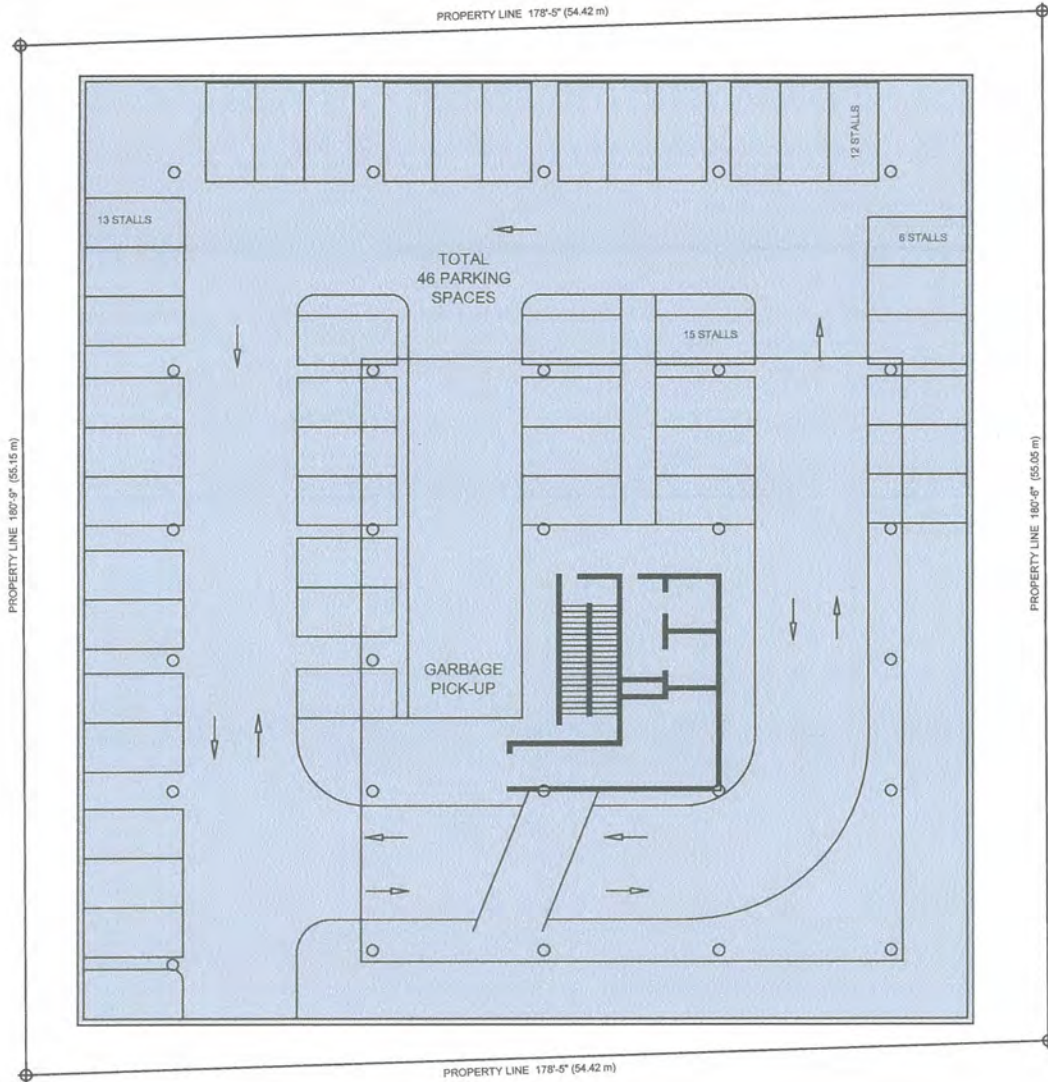
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1/32" = 1'-0"

A-6





BASEMENT LEVEL 1

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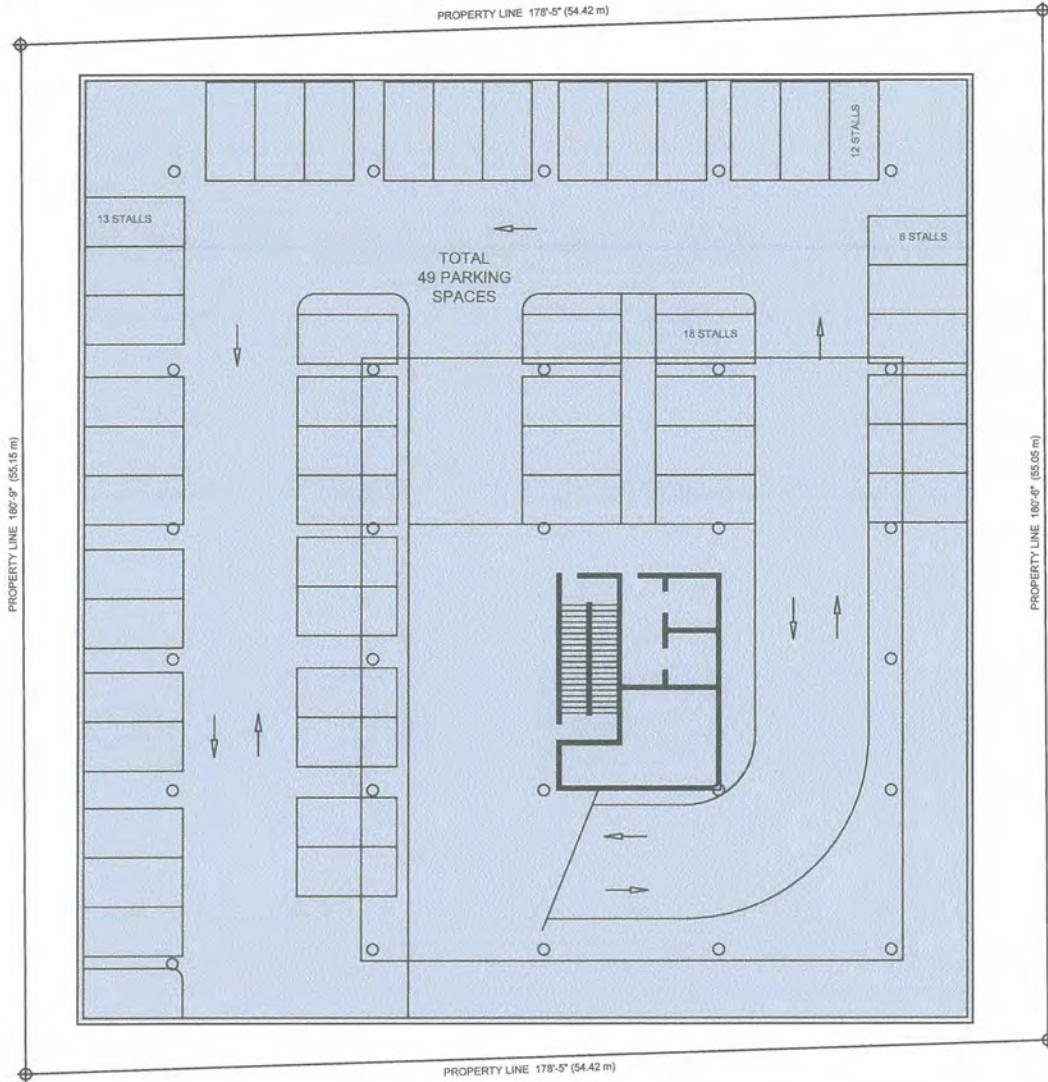
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BASEMENT LEVEL 2

PROPOSED 13-STORY APARTMENT - LIVERPOOL ROAD, PICKERING

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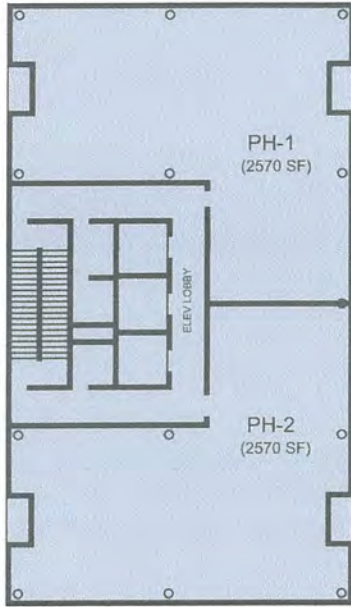
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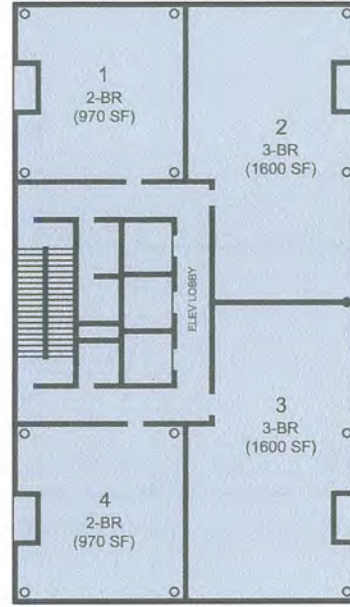
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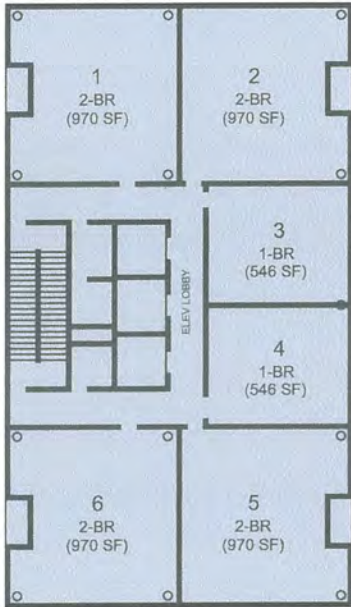




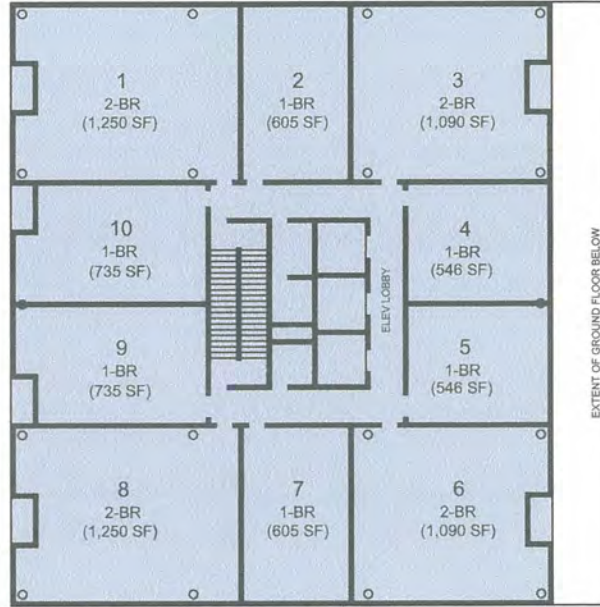
LEVEL 13 PENTHOUSE (2 UNITS)
GROSS AREA = 6,430 SF



LEVEL 12 (4 UNITS)
GROSS AREA = 6,430 SF



LEVELS 10 & 11 (6 X 2 = 12 UNITS)
GROSS AREA = 6,430 SF



LEVELS 2 TO 9 (10 X 8 = 80 UNITS)
GROSS AREA = 10,070 SF (935 SM)

FLOOR PLANS

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

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SECTION (EAST-WEST)

PROPOSED 13-STORY APARTMENT - LIVERPOOL ROAD, PICKERING

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SCALE:
1/32" = 1'-0"

A-10



R +146'

13 +128'

12 +118'

11 +108'

10 +98'

9 +88'

8 +78'

7 +68'

6 +58'

5 +48'

4 +38'

3 +28'

2 +18'

G +0'

B1 -18'

B2 -34'



SECTION (NORTH-SOUTH)

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

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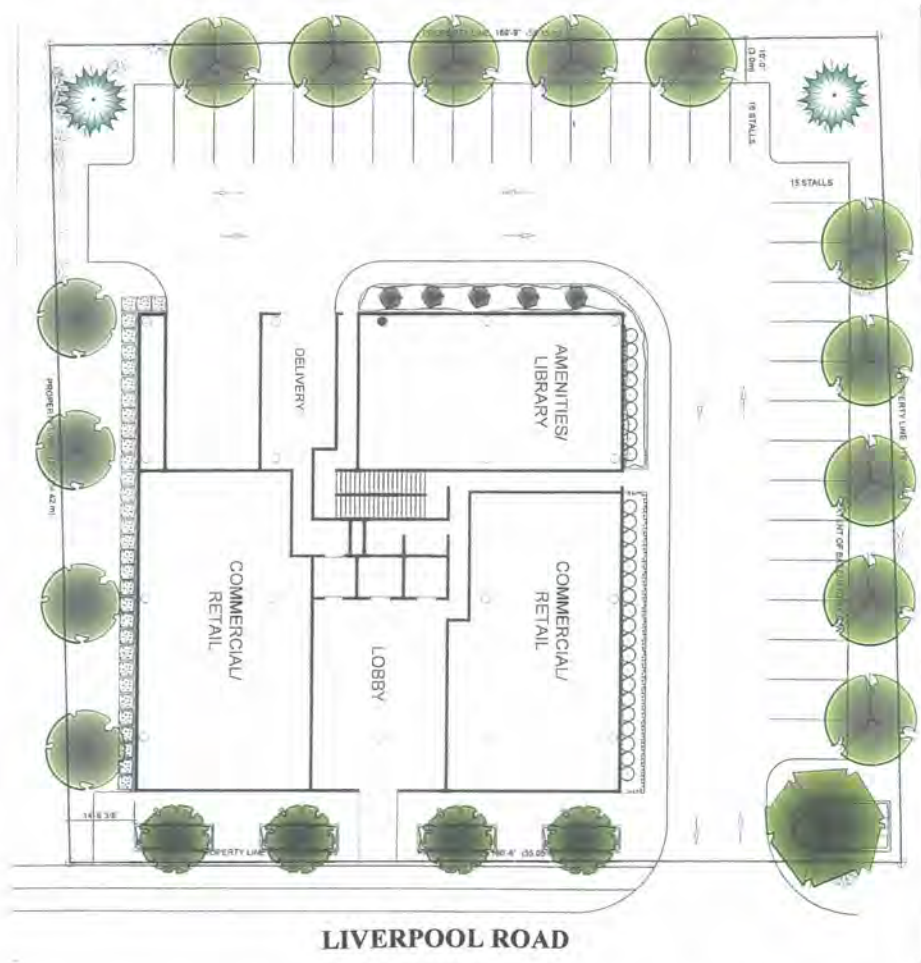
6.0 Arborist Report, included as Tab 7:

This report takes into account that the site is located partly within the Town Centre and partly adjoining the Town Centre. Hence, many of the existing trees will be removed and new trees planted for the proposed development. The proposal also anticipates that the two existing properties to the north, i.e. 1862 & 1866 Liverpool Road and 1867 Glendale Road to the west will be redeveloped for higher density development in the future, in keeping with these owners' intentions.

7.0 Figure 5 - Conceptual Landscape Plan:

This Landscape Plan proposes the planting of a number of new perimeter trees to improve the aesthetics of the proposal. However, given the recommendations of the Trans Plan Traffic Study, it will be necessary to remove 3 surface parking spaces to allow for the proposed 15 m radius at the driveway entrance.

This Concept Plan is included as Tab 8.



8.0 SHADOW STUDY, prepared by Emilio De Leon, Project Architect, is included as Tab 5.

This Shadow Study has been undertaken by the Project Architect. The shadow diagrams taken at various times of the day show that the neighbouring residential property to the west (1857), zoned for Medium Density Development, will be minimally affected by the loss of sunlight given the subject proposal. The existing bungalow to the north at 1862, zoned for future office and commercial uses, will

experience some reduction in sunlight as the sun moves from east to south. It will also be affected by the proposed 12 & 25-storey high rise development proposed immediately south of the subject property by the Altona Group of Companies.

9.0 THE PROPOSED DEVELOPMENT IN THE CONTEXT OF OTHER EXISTING AND PROPOSED DEVELOPMENTS:

As a result of the proximity of the subject site (1854 & 1858) to the City Centre, its proximity to Highway 2, Highway 401, the Go Station and bus services along Liverpool Road, its proximity to Pickering Town Centre and existing high density residential development, with commercial and residential developments in the vicinity, and as stated in Section 5.0, make the subject property an excellent candidate for the proposed redevelopment of high density residential (condominium) and minor commercial development.

The City of Pickering is taking its rightful place as an important City in the Region and the GTA. This is ushered in by many of the recent applications and important developments taking place. Some of these include the following:

- 2077 & 2095 Brock Road – One hundred and fifty-four (154) dwellings, including town houses, semis, single detached units, park, storm water, open space, etc.
- 747 Liverpool Road, East of Liverpool Road within the Bay ridges Neighbourhood, South of 401. This development consists of sixty-seven (67) dwelling units, including ten (10) two-storey detached dwellings and fifty-seven (57) 3-storey town house units.
- 1884 – 1898 Altona Road – Proposed twenty-two (22) town house units with outdoor amenity space, internal private road with pedestrian access to the existing Catholic School along Twyn Rivers Drive.
- 1956 Altona road – Proposed twenty-seven (27) townhouse units with internal private road west of Altona Road, South of Finch Avenue.
- Canter Point stacked townhouse development located on the south side of Kingston Road, east of Valley Farm Road, containing 136 units.
- 1952 Liverpool Road – Proposed development for a townhouse block, 12-storey and 25-storey apartment condominium complex with approximately 391 units.
- Squires Beach – the development of a casino, hotel and recreation facilities. This is a major development which is also expected to bring major revenues to the City of Pickering.

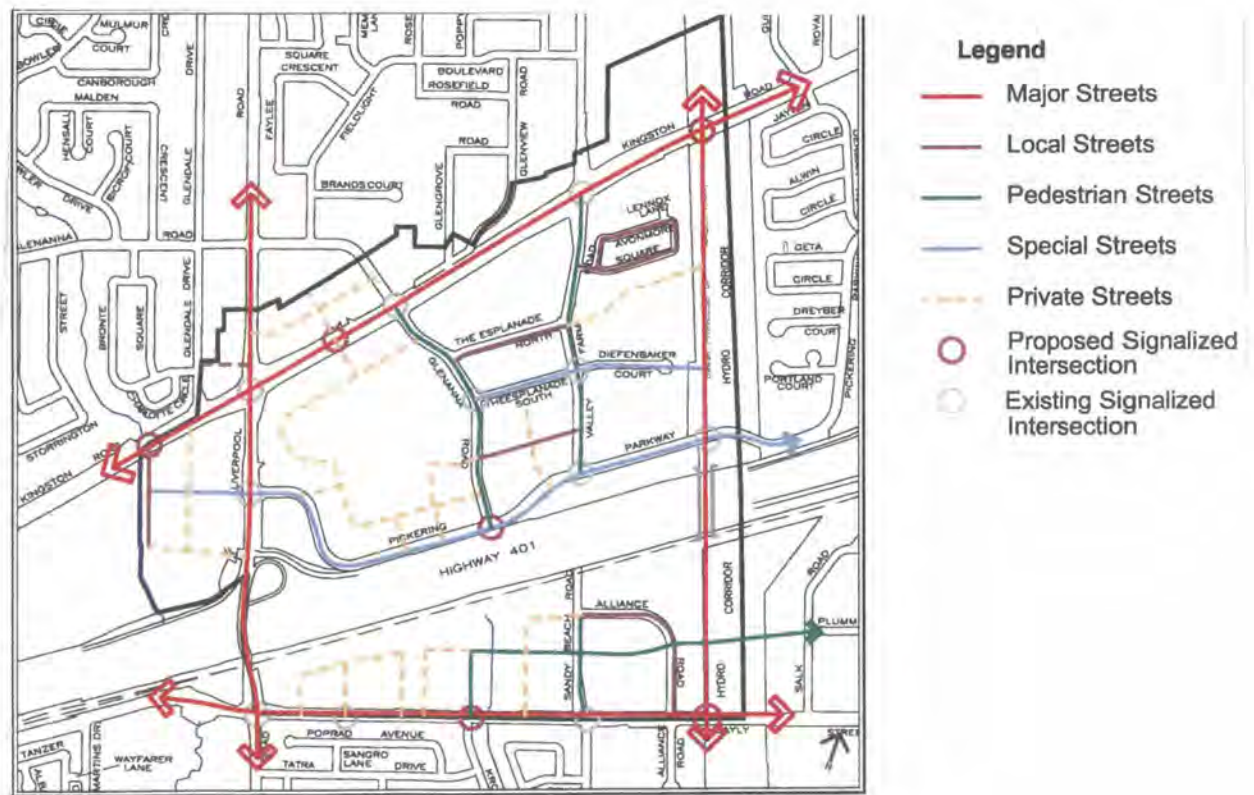
- Seaton Development – about 400 – 500 new residential units constructed with a total of 21,000 residential units, with a 10 – 15 year build out period.

The above developments are a clear indication of the development activity of a growing City of Pickering which is responding to the pressures being brought about by new families seeing Pickering as a safe place to live, work and play.

10.0 TRANSPORTATION AND TRANSIT WITHIN THE CITY CENTRE:

As the City of Pickering grows, transportation will play an important role for the movement of people and goods. Its proximity to the Cities/Towns within the Region of Durham, the City of Toronto with its expanding employment opportunities and its access by the Go-Station, Go-Bus and bus facilities, Highways 2, 401 and 407, make it easier for the movement of people to access external employment and shopping markets.

Figure 6 - City Centre Street Network:



11.0 *IN ADDITION, THE FOLLOWING COMMUNITY AND BUSINESS SERVICES ARE LOCATED WITHIN EASY ACCESS OF THE SUBJECT LANDS AND IN THE CITY OF PICKERING.*

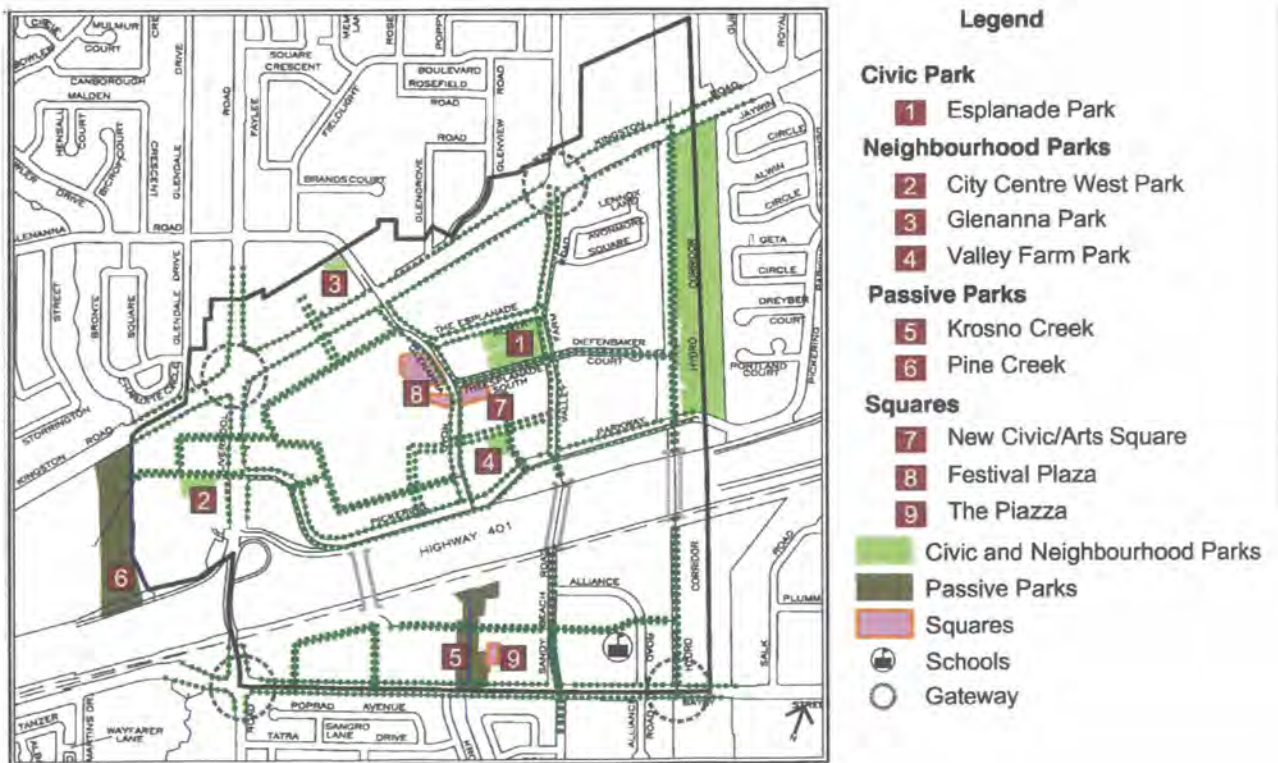
11.1 RECREATION & COMMUNITY CENTRES:

- The Good Life Fitness Centre
- Pickering Recreational Complex
- Dr. Nelson Tomlinson Community Centre
- East Shore Community Centre
- George Ash Library & Community Centre
- West Shore Community Centre

11.2 LIBRARIES:

- Pickering Central Library
- Pickering Public Library

Figure 7 – Parks Within The City Centre:



11.3 PARKS WITHIN THE CITY OF PICKERING:

- Altona Forest
- Amberlea Park
- Balsdon Park
- Bay Ridges Kinsmen Park
- Beverly Morgan Park
- Brock Ridge Community Park
- Brougham Park
- Central Park
- Claremont Park
- Commerce Street Park
- Don Beer Memorial Park
- David Farr Memorial Park
- Downland Park
- Dunmoore Park
- Forest Brook Park
- Glengrove Park
- Jean McPherson Park
- McPherson Park
- Mitchell Park
- Rick Huh Memorial Park
- Rosebank Park
- S.M. Woodsmere Park
- Southcott Park
- Valleyview Park
- William Dunbar Park
- Woodsmere Park
- Lookout Point Park

Pickering Map of Parks & Diamonds is included as Tab 5.

11.4 SOME PLACES OF WORSHIP:

- Pickering Islamic Centre
- St. Georges Anglican Church
- St. Paul on the Hill Anglican
- Jehovah's Witness
- Satya Sanatan Dharma Cultural
- Church of the Nazarene

11.5 SCHOOLS:

- Gandartsetiagon Public School
- Highbush Public School
- Affordable Montessori Material
- Montessori Learning Centre
- Durham Catholic District, Whites Road
- Durham Catholic District, Eyer Drive
- Durham Catholic District, Southcott Road
- Durham Catholic District, Twyn Rivers
- Holy Redeemer Separate School
- Pine Ridge Secondary School
- St. Wilfred Catholic School
- Valley Farm Public School
- Vaughan Will and Public School
- West Creek Public School
- Bayview Heights Public School
- Claremont Public School

12.0 PLANNING DOCUMENTS:

12.1 Regional Official Plan:

This Plan recognizes the City of Pickering, where the subject property is located, as being within an Urban Growth Centre and as a focal point within the Urban Area of the City of Pickering where institutional, major office, commercial, recreational, regional public services and where a major employment centre supporting higher order transit services are located.

The Regional Plan recognizes that these Urban Growth Centres are to be planned to accommodate a minimum density target of 200 persons and jobs per gross hectare with a 3.0 floor space index. This Plan also provides that these Urban Growth Centres should contain a mix of predominately high rise and mid rise development but leaves it up to the Local Official Plan to determine what is best suited for the particular area. ***The subject proposal is in keeping with the policy directions of the Regional Official Plan.***

Because of the number of existing trees on 1854 & 1858, the Regional Plan identifies part of the subject property as having Key Natural Heritage Features on Schedule B, Map B1, although there is no connectivity with other such features. Additionally, the nearest creek is approximately 1500 metres from the subject property.

Also, we note that this Key Natural Heritage feature is not included in the Pickering Official Plan nor does the TRCA recognize the subject property as being within its regulated area. Further, the Arborist Report, prepared by David White, does not recognize the trees on the subject property as having Key Natural Heritage Features. Given these findings, Dave Cunningham, the Project Environmental Consultant questions why the subject property is recognized as having Key Natural Heritage Features. ***The Cunningham Environmental Associates' Comment and EIS Report are included as Tab 6. The Arborist Report is included as Tab 7.***

The subject property is serviced with municipal water sanitary sewers and storm sewers along Liverpool Road, capable of servicing the development. However, because of the proposed development for three hundred & ninety-one (391) residential condominium units to the south, the Region has requested a sewer study be undertaken to demonstrate that sufficient sewer

capacity exists along Liverpool Road to service the proposed development to the south, the subject development and the possible future developments of 1862 and 1866 to the north. This study prepared for the Altona Development Group of Companies, concluded that there is sufficient service infrastructure to service the proposed developments, This is confirmed by the Servicing Study prepared by Politis Engineering. (*See Appendix A*)

12.2 City of Pickering Official Plan:

Although 1854 Liverpool Road is located within the City Centre Neighbourhood of the City's Official Plan, where Higher Density Development is permitted, unfortunately 1858 is considered to be just outside the City Centre Neighbourhood and is designated Medium Density Area in the City's Official Plan but zoned (R3) Third Density in By-law 3036. It must also be borne in mind that the Regional Official Plan, the Higher Order Plan, recognizes both 1854 and 1858 Liverpool Road as being within an Urban Growth Centre, where High Rise and Mid-Rise Developments are encouraged. Given this, it is Staff's position that it will be necessary to apply for an amendment to the Pickering Official Plan to designate 1858 Liverpool Road to be within the City Centre Neighbourhood, thereby allowing it to be developed in conjunction with 1854 for high density development. This will permit the proposed one hundred (100) apartment residential units on thirteen (13) floors, with possible commercial development on the ground floor.

12.3 Zoning By-Laws:

1854 Liverpool Road is currently zoned Mixed Use Area CC1, in By-law 7553-17, which permits High Density Residential Development with commercial on the ground floor. However, since 1858 is currently designated Medium Density Area in the City of Pickering Official Plan but zoned Third Density (R3) in By-law 3036, it will be necessary to amend the zoning by-law to rezone this property also to be in the Mixed Use Area, CC1 zone as set out in By-law 7553-17 to allow for High Density Development in keeping with 1854.

Notwithstanding that the High Density Development is permitted in the CC1 City Centre zone, this by-law also contains a standard, if applicable, would

control the height of the proposed building through the use of a 45-degree angular plane measured 7.5 m from the boundary line from the Medium Density Zone RM 1-4 of 1857 to the west and the Residential Mixes Use Area of 1862 to the north. However, as stated in Section 2.0, the 45-degree angular plane standard should not apply to the subject proposal given the zoning, Regional and Pickering Official Plan designations. ***Notwithstanding this, the owner proposes to provide compensation as provided for under Section 37 of the Planning Act. This will be discussed in greater detail in Section 11 of this report.***

12.4 2014 Provincial Policy Statement (PPS):

The proposed development is located within a Settlement Area and in a built-up area of the City which has sufficient planned infrastructure and where intensification and the efficient use of the existing infrastructure are encouraged. Given that 1858 is located adjoining lands located within the City Centre Neighbourhood and is in the same ownership as 1854, the change in designation and rezoning would be a logical extension of the City Centre Neighbourhood uses and density and would be consistent with the PPS.

12.5 Growth Plan for the Greater Golden Horseshoe 2017 (GPGGH):

The Growth Plan recognizes downtown Pickering as an important Growth Centre in the Region, where high density residential and major employment opportunities are encouraged. For downtown Pickering the Growth Plan sets a minimum density target of 200 residents and jobs combined per hectare.

The subject proposal is in keeping with both the Provincial Policy Statement and the Growth Plan.

13.0 PARKLAND DEDICATION:

Given the location of the existing park land adjacent to the City Hall in the vicinity, the owner proposes to provide cash-in-lieu of parkland and in this respect will provide a site valuation of the property by a qualified appraiser at a later date. This cash-in-lieu will provide additional funds to the City for the maintenance and development of parks within the City thereby making better use of the existing park infrastructure.

14.0 URBAN DESIGN BRIEF

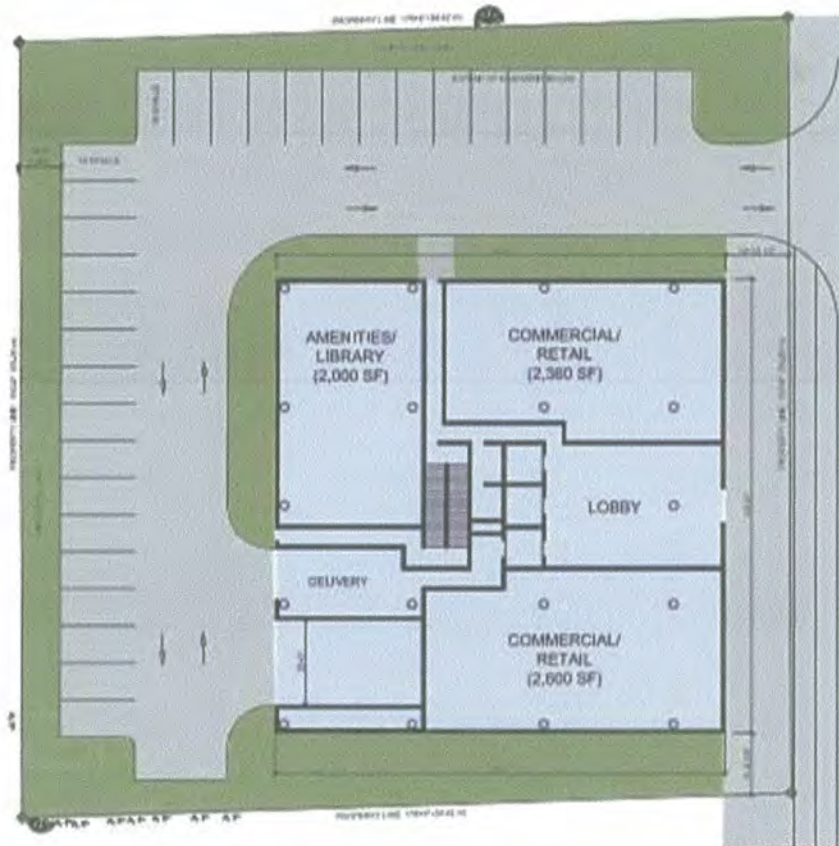
1854/1858 LIVERPOOL RD, PICKERING



14.1 INTRODUCTION

The proposed mixed-use development aims to complement Pickering's vision for the intensification of its City Centre. Situated close to the Kingston and Liverpool intersection, its distinct contemporary design enhances the vitality of the "Gateway" to Downtown Pickering while providing a transition between the commercial district and the adjacent residential areas. As the city continues to grow, this proposed mid-rise residential-retail site offers an urban living option that is easily accessible and centrally-located.

14.2 SITE DESIGN

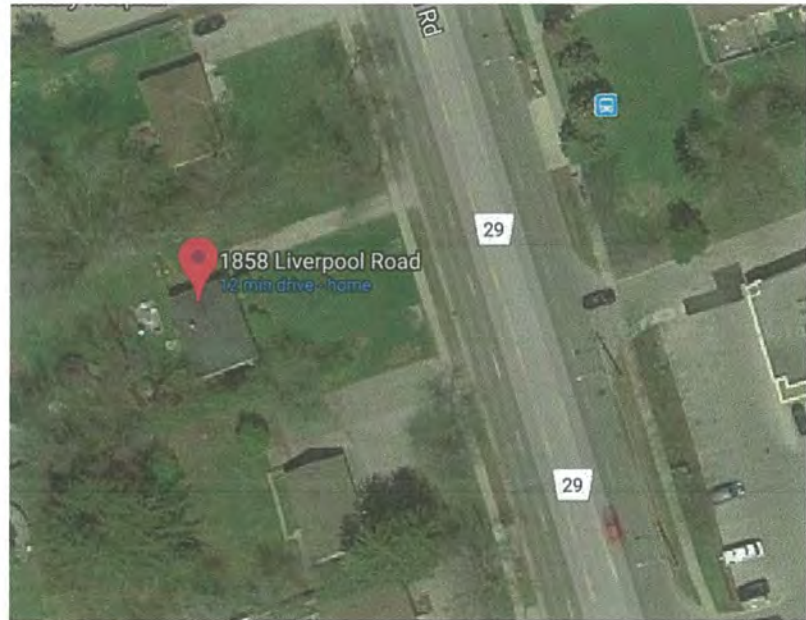


14.2.1 GRADING

The site is relatively flat, with the highest elevation located at the southwest corner. The south portion of the site will drain towards the street to the east, while the middle and north portions will have grading that drains to the west property line. The proposed development anticipates the majority of the site footprint to have a basement structure, which provides an opportunity to create pavement slopes draining towards Liverpool Road. Elements such as landscaping strips and sidewalks will be provided. Curb cuts and ramps are proposed for wheelchair access.

14.2.2 BUILDING PLACEMENT AND ORIENTATION

The building footprint will be set closer to Liverpool Road at the east side of the property. This placement will contribute to the feeling of an urban facade along the street level. The building is oriented parallel to the north-south direction of Liverpool Road.



site location

14.2.2.1 THE STREET EDGE



Main entrance to the Apartment lobby and storefronts of commercial spaces facing Liverpool Road will help create an active streetscape

Located close to the street, the ground floor level will have the main building entrance and proposed commercial spaces provided with tall storefront glazing, Pedestrians walking along Liverpool Road will be near enough to see the interior features of the ground floor, creating a more open and welcoming environment. Landscaping and building lighting will be utilized to also contribute to a more pedestrian feel.

The building will be aligned with the street orientation and will occupy about sixty (60) percent of street frontage, The building is set back about four (4) meters from the property line providing a consistent street wall feeling. Building materials such as glass, steel and masonry are being explored to be used for the ground floor facade.

14.2.2.2 BUILDING ENTRANCES

The primary building entrance will be facing Liverpool Road and will be developed to have a prominent presence and visibility along the street. An awning will be proposed for weather protection, and along with the main entrance doors, will establish the identity of the building itself, through design elements and materials used.

14.2.3 WALKWAYS

To encourage enhanced walkability as an integral part of the City Centre, the building facade along Liverpool Road will have wide walkways with curb ramps for barrier-free considerations. Vehicle access will be limited to the north portion of the site and will be clearly demarcated from the pedestrian areas. Distinctive paving materials being considered include coloured stone pavers or concrete.

14.2.4 OFF-STREET PARKING

Off-street parking will be available in the basement levels and at the west side surface level to cater to residents and their guests, as well as commercial clients. Proper signage and adequate lighting will be installed for visibility and safety. Parking lot will also be screened from the street with landscaping.

14.2.4.1 STRUCTURED PARKING



basement parking
plan

Ample-sized parking stalls will be provided at the two basement levels accessed through the vehicle ramp located at the rear of the building. Passenger elevators close to the parking area will afford residents and their guests a direct and convenient link to the suites upstairs. Bicycle storage will also be provided at the basement level to promote the use of alternate transportation.

14.2.4.2 SURFACE PARKING

Parking spaces will be made available at the street level on the west portion of the site, to cater to the commercial units on the ground floor. Landscaping strips will be distributed around the parking area to define vehicular and pedestrian paths and to create a softer and greener environment.

14.2.5 LOADING, SERVICES AND UTILITIES

A loading/service area will be proposed at the rear of the building for deliveries catering to commercial units. This loading facility will have direct access to the service elevator to connect with the basement level storage and upper level suites. The loading area will not be visible from Liverpool Road. Waste pick up and bin replacement will be at the basement level near the garbage room.

14.2.6 LANDSCAPE DESIGN

Landscaping will be distributed across the site in the form of planting strips, and plant boxes and will cover at least 10 percent of the lot. Plant selection will include deciduous and evergreen trees which are adaptable to urban conditions. Hardscaping in the form of rocks or ornamental landscape elements will be included to enhance the visual image of the surface parking areas.



Mix of rocks and plants to add colour, contrast and texture

14.2.7 FENCES AND WALLS

Solid fencing will be installed to provide physical and visual separation of the development with the adjacent properties. Hedges will be planted along the fence both for aesthetics and noise-reduction. Fence will be designed in a manner that will create a smooth transition between the property and the neighbouring residential area.

14.2.8 NOISE ATTENUATION

Reduction of noises can be achieved by locating mechanical equipment either at the basement levels or much higher above-grade levels. Strategic placement of plants as well as surface treatment of exterior walls at grade level will be utilized.

14.2.9 SITE LIGHTING

Site lighting will be designed to provide sufficient illumination for pedestrians and also to emphasize architectural elements of the building. LED pole and pathway lighting will be utilized for energy efficiency. Consideration will also be given to dark-sky friendly light fixtures that minimize glare and light trespass to adjacent properties.

14.2.10 SIGNAGE

Clear and visible signage that adheres to the Zoning Bylaw will be provided. It will be designed to complement the scale and architectural features of the building, and appropriately-placed around the site, as well as contain sufficient information.

14.3.0

BUILDING DESIGN



TOP



MIDDLE



PODIUM

14.3.1 TRANSITION AND MASSING

The massing of the proposed building will contribute to the intended urban feel of the City Centre, with the consistent alignment of the facade along the grade level and sufficient stepback at the upper level. The current proposal indicates an angular plane in consideration of the Bylaw. Analysis of the impacts of shadowing will be demonstrated by the shadow study which is also part of this submission.

The podium level will be clearly differentiated from the upper floors and will have a higher floor-to-floor height for visual enhancement. It will have a more transparent design using materials such as glass to suit the needs of commercial/retail units.

The middle component is defined by the exterior of typical suites and will have glazed areas, balconies and wall materials that will blend in with the feel of the neighbourhood, but at the same time providing a more modern and urban aesthetic.

The top portion is proposed to have elements that will provide visual features that complement the whole building design and contribute to the building's identity and image. All mechanical equipment are proposed to have visual barriers from sightlines coming from the street.

14.3.2 MATERIALS AND FACADE TREATMENT

Proper selection of materials to be used at the exterior of the building will be employed to establish the building's identity and character. Considerations also include the durability of materials and the required physical maintenance to ensure visual longevity of the building envelope. Materials that are being explored will include glass, brick/stone, and steel elements.

14.3.3 SUSTAINABLE DESIGN

Sustainable elements will be integrated during the development of the building. Options such as green or vegetated roofs, bird-friendly glazing, native landscaping and permeable surface level (outside of basement footprint) will also be explored.

14.3.4 BUILDING TYPE

The proposed development will fall under the mid-rise category and will be in line with the City's Urban Design Guidelines.

4.0 MOBILITY

The development is located within the City Centre and will be close to public transportation, providing benefits for vehicle and pedestrian traffic and to be a major contributor to the Centre's Integrated Transportation System.

15.0 RATIONALE FOR DELETING THE 45-DEGREE ANGULAR PLANE OF BY-LAW 7553-17, AS IT AFFECTS 1854 & 1858 LIVERPOOL ROAD:

For 1857 Glendale Drive, since By-law 7553-17 set an angular plane standard of 45 degrees, we have reviewed this standard and it is our opinion that this standard should not apply to the design of the proposed building. In support of this, we submit that 1857 Glendale Drive, which lies adjoining 1854 Liverpool Road to the west, is designated Medium Density Area in the Pickering Official Plan and is zoned RM 1-4 in By-law 4362/93, which permits multiple dwelling-horizontal residential use and semi-detached dwelling residential use. In addition, there are a number of existing trees at the rear of 1857 which block visibility from the proposed apartment building. Further, we note that the City of Pickering is recognized in the Regional Official Plan as an "Urban Growth Centre" where High Density and Medium Density Developments are encouraged, subject to the local Official Plan.

The adjoining property to the north (1862) contains a bungalow which is currently being rented out for residential purposes. It is also designated Medium Density Area in the Pickering Official Plan and zoned R3-MU in By-law 5850/01, which permits a detached dwelling, business office, professional office, personal service shop & retail store. The Regional Official Plan also permits Medium and High Density Development on this property. However, given the permitted uses in the by-law and the owners' desire to develop this property (1862) for Commercial/Higher Density Development in the future as indicated in Section 4.0 above, and since the proposed 100-unit apartment building is setback 18 metres from its northern boundary, it is also our opinion that the 45-degree angular plane does not apply to the design of the proposed building relative to 1862 Liverpool Road.

In keeping with the above, the design of the proposed building which provides for a 100-unit residential condominium on 13 floors with possible commercial on the ground floor and given the surrounding RM 1-4 and R3-MU zones, the supporting designations of the Regional and Pickering Official Plans, we submit that the 45-degree angular plane of By-law 7553-17 affecting 1857 Glendale Drive and By-law 5850/01 effecting 1862 Liverpool Road should not apply.

NOTWITHSTANDING THIS FINDING AND AS FURTHER SUPPORT FOR THIS PROPOSAL, MY CLIENT IS PREPARED TO INVOKE SECTION 37 OF THE PLANNING ACT BY PROVIDING A COMPENSATION PACKAGE OF UP TO \$500,000.00 FOR THE NEW PICKERING ARTS CENTRE.

16.0 Sustainable Building Practices

Proposed 13-Storey Apartment,
1854/ 1858 Liverpool Rd, Pickering

City Policy

16.1 Sustainable Building and Design Practices

11.37 It is the objective of City Council that development:

- (a) promote leadership in sustainable forms of development and green technologies;

- (b) ensure the efficient use of land, infrastructure and energy through neighbourhood layout, compact urban form and energy efficient building design;

Prepared by: EMILIO DE LEON, ARCHITECT

Excerpts from City of Pickering Official Plan regarding Sustainability Practices, and corresponding response and intent from the development team

Development Proposal

The development team for this project is fully aware of the benefits provided by sustainable building practices, and will have the expertise of consultants who are knowledgeable in implementing these green initiatives during the design stage. The team will be fully supportive of the Official Plan's intent to promote these practices and technologies.

The proposed development will consider the following:

1. *Efficient use of land through the optimal orientation of the building for daylight, views and shading, and to keep existing trees where possible.*

2. *Development footprint will aim to be as compact as possible, to limit site impact.*

3. *Implementation of energy efficient building design through industry best practices, familiarity with sustainable design standards, and compliance with mandated national or provincial energy codes and City bylaws.*

City Policy (continued)

- (c) reduce consumption of energy and water, and the emissions of greenhouse gases on a per household basis;

- (d) reduce generation of waste water and solid and hazardous waste on a per household basis;

- (e) increase alternative energy generation;

- (f) control and, to the extent practical, eliminate water, soil, noise and air pollution to safeguard the natural and human environment;

- (g) protect groundwater quality and quantity;

- (h) protect and improve surface water quality, wherever possible;

- (i) provide stormwater management facilities that are efficient, and minimize lifecycle costs;

Development Proposal (continued)

The proposed development will consider the use of EnergyStar appliances, low flow plumbing fixtures, and selection of HVAC equipment that will consume less energy.

Promotion of energy and water conservation practices is envisioned to be implemented, to encourage awareness and cooperation from building occupants and households.

The proposed development will utilize alternative energy where possible, by considering the opportunities provided by the installation of solar panels and through the purchase of green power.

The proposed development will aim to limit and eliminate water and soil pollution through engineering best practices, and for limiting noise and air pollution through building design such as by properly locating mechanical equipment and occupied balconies.

Waterproofing of the basement structure and ensuring any collected water within the building will be pumped out and drained properly.

Sub base layers such as compacted gravel and fill for all at-grade slabs and pavements will be acting as a filtering element to protect water quality seeping into the ground.

Possible options being considered include green roofs and stormwater harvesting.

- (j) maintain the natural hydrologic cycle and function of the watersheds through a range of mechanisms including implementation of LID stormwater management practices and principles; and

Best practices in stormwater management will be utilized and will need to be integrated early on in the design development.

- (k) prevent increased risk of flooding and stream erosion.

The development aims to reduce the risk of flooding through proper grading and by providing sufficient area drains around the building at grade level.

16.2

11.38 City Council shall:

- (a) promote innovative technology to reduce energy and water consumption in buildings, and to reduce waste;

The development will coordinate and cooperate with the City with regards to opportunities for innovative technologies, energy and water conservation, and waste management, by being fully aware of its objectives, and providing building design solutions that will be in line with the City's vision.

- (b) require the Seaton Sustainable Placemaking Guidelines to set out minimum standards and benchmarks to be achieved in the Seaton Urban Area;

This subsection is not applicable to the subject site.

- (c) identify, where appropriate, additional measures, beyond the minimum mandatory building standards set out in the Ontario Building Code, which will be encouraged through a variety of means including possible incentives; and

The proposed development will meet or exceed the requirements of mandatory building standards set out by the national and provincial building and energy codes, and will aim to comply with any additional measures being proposed by the City.

City Policy (continued)

16.3

(a) require the Guidelines to address:

- (i) design standards and benchmarks to maximize solar gains and facilitate future solar installations (i.e. solar ready);
- (ii) design measures to facilitate future on-site renewable energy and/or energy recovery systems including the suitable orientation of streets;
- (iii) benchmarks for the amount of buildings to be pre-wired for photovoltaic systems;
- (iv) minimum standards and benchmarks for water conservation, including rainwater harvesting, in all buildings and landscaping and the encouragement of re-circulation/reuse systems;
- (v) minimum green building material standards and benchmarks to promote durability, resource reuse and renewable resource use;

Development Proposal (continued)

The development will consider the use of solar panel installations and aim to meet the design standards set out where opportunities are available.

The development will consider and use energy recovery systems for HVAC and water installations as much as possible, and will be integral in the overall design approach.

Similar to item above, to consider the use of solar panel installations where opportunities are available.

For the centralized building systems intended for common areas and commercial spaces, the development will aim to comply with the minimum standards for the installation of rainwater harvesting and greywater systems where practicable.

The development intends to specify and use building materials that will contribute to the building's overall durability, high reuse content, and coming from highly-renewable materials and resources.

City Policy (continued)

- (vi) benchmarks for incorporation of green and/or white roofs into building design;
- (vii) minimum standards and benchmarks for energy efficiency in new buildings;
- (viii) minimum standards and benchmarks for waste reduction and diversion in the construction process;
- (ix) landscape design standards and benchmarks to promote water efficient, drought resistant landscaping and the elimination of pesticide/herbicide use, including the use of native plants and xeriscaping; and
- (x) owner/tenant education, at the time of house purchase or rental, regarding household activities to improve energy efficiency.

Development Proposal (continued)

Where opportunities are available, the development will provide green roofs to meet and exceed mandatory requirements. For all other roof areas, to use highly-reflective roof systems or white roofs to reduce urban heat island.

The development intends to meet or exceed the requirements set out by the Ontario Building Code SB-10.

The development will consider waste reduction during construction and to communicate these with the contractor, for the implementation of such site construction process and methodologies.

The development will select and utilize drought tolerant and native plants for site landscaping.

The development will aim to communicate and promote energy efficiency awareness and practices to households, and to consider this key program on a continuing basis.

City Policy (continued)

16.4

11.39 City Council shall promote and encourage the use of recognized and accredited third-party certification for all new development, including LEED and EnergyStar, or equivalent standard.

16.5 City Policy

LEED Silver for Municipal Buildings

11.40 City Council shall commit to targeting at least LEED Silver certification, or equivalent standard, for all new municipal buildings and projects.

16.6 City Policy

On-site Renewable Energy

and Green Energy Systems

11.41 City Council shall permit and encourage on-site renewable energy systems as well as innovative clean energy technologies including:

- (a) alternative renewable energy for any large building with an indoor community swimming pool, and for institutional, industrial or commercial building with above average hot water usage;

Development Proposal (continued)

The proposed development will consider the guidelines set out by recognized standards such as the LEED rating systems and EnergyStar. Where opportunities are available, the intent will be to meet or exceed these standards.

The proposed development will not be a municipal building.

The proposed development will not likely have a swimming pool.

(b) photovoltaics on larger commercial, recreational and industrial buildings;

Where practical, to use available open roof areas for solar panels and photovoltaic systems.

(c) solar lighting for park pathway lighting or nature trail lighting;

The development will consider the use of solar lighting for the grade level site lighting.

City Policy (continued)

Development Proposal (continued)

(d) sewer heat recovery systems near commercial, mixed use and high density residential areas;

The development will consider the use of these systems where opportunities are available.

(e) inter-seasonal thermal energy storage in employment and high density areas, especially those that have higher than average summer cooling requirements such as office towers, retail, or computer data centres; and

The common areas and commercial spaces may possibly have higher than average cooling requirements, to consider utilizing thermal storage technologies for HVAC systems. However, this will depend on available building space and practical engineering mechanical system design.

(f) gas-fuelled combined heat and power systems for any building or collection of buildings that require emergency power systems in excess of 250 kilowatts of electricity.

The development will consider this during the design stage and aim to provide as much as practicable.

17.0 PLANNING JUSTIFICATION AND SUSTAINABILITY CONCLUSIONS:

The City of Pickering Official Plan requires the owner to provide a Planning Rationale and through a Sustainability Report to demonstrate that the proposed development will not adversely affect the neighbourhood and further, to demonstrate that such changes will be of benefit to the municipality without adding meaningful cost to the municipality.

In support of this Planning Rationale and Sustainability Report:

- 1) It is our view that the approvals of amendments to both the City of Pickering Official Plan and the Zoning By-law 3036 to permit High Density Residential & Commercial Development at 1858 Liverpool Road will be in keeping with the High Density Residential & Commercial Development permitted on the adjoining property at 1854 Liverpool Road, both of which are held in the same ownership.
- 2) The proposal is in keeping with the Provincial Policy Statement and the Growth Plan for the Greater Golden Horseshoe.
- 3) The design of the building has given consideration to the existing RM 1-4 and R3-MU zoning of the adjoin properties and it is our position that the 45-degree angular plane should not apply. Notwithstanding this, the owner is prepared to provide compensation in the amount of \$500,000.00 pursuant to Section 37 of the Planning Act, for the Official Plan Amendment, zoning By-law amendment and *any necessary modifications to the 45-degree angular plane standard.*
- 4) It is anticipated that because of the proposed apartment building on the subject property, some minimum loss of sunlight will affect the existing bungalow at 1862 immediately north of the subject property as the sun moves from east to south in the morning hours. This will change as the midday sun is overhead and as the sun sets in the west, the property 1862 Liverpool Road will no longer be affected by the proposed apartment condominium building. We do not anticipate that the existing house to the west at 1857 Glendale Drive will suffer any loss of sunlight given the proposed building setback of 17.3 metres and the existence of back yard trees at 1857 Glendale Drive.

- 5) The owner's Project Engineer confirms that there is sufficient sewer capacity in front of the property, along Liverpool Road, to service the subject development. This will relieve the Region of any financial burden.
- 6) Currently, the two existing houses on the property provide a total tax benefit to the City in the amount of \$10,000.00 yearly. With the proposed 100-unit apartment condominium building with commercial uses on the ground floor, it is anticipated that in addition to the development charges of approximately \$1,536,211.00, the City will receive yearly taxes of approximately \$392,000.00. Hence, the proposal will contribute to the existing and proposed infrastructure of the City as well as provide a substantial increase in the tax base, all of which will be of benefit to the City, without any burden to the City.
Copy of the City's Development Charges is included as Tab 9.
- 7) The proposal will provide for the employment of approximately 150 people including consultants and construction workers, etc., will stimulate the Pickering economy and will contribute to the City's growth.
- 8) The proposed cash-in-lieu of parkland for Higher Density Development will provide additional funds to the City for the maintenance and development of parks within the City, thereby making better and more efficient use of the existing park infrastructure.
- 9) The increase in density for the proposal will make more efficient use of the land in an area of the City which has sufficient planned infrastructure.
- 10) The residents from this proposal will assist in providing stimulus to the Pickering economy through supporting the local businesses and commercial enterprises.
- 11) The Durham Regional Official Plan, the Higher Order Plan, recognizes 1858 Liverpool Road as being within an Urban Growth Centre which allows for the proposed high density development, but leaves it up to the City to determine what is best suited for the area.

- 12) With the use of Section 37 of the Planning Act and to provide for the proposed 13-storey residential (condominium) building, the owner proposes to:
- 1) Provide a lump sum contribution of \$500,000.00 for the new Pickering Arts Centre
 - 2) Consider retaining for himself, a maximum of forty (40) residential apartment units in the building *for rental purposes, some of which will be in the affordable range, as negotiated under Section 11.49 of the Official Plan.*
 - 3) Provide development charges to the City in the amount of \$1,536,211.00 (approximately)
 - 4) Provide a yearly tax increase from \$10,000.00 to \$392,000.00 approximately, and
 - 5) Provide a higher rate of cash-in-lieu of parkland as a result of the proposed increase in density from 2 residential bungalows to a maximum 100 residential condominium units with commercial uses on the ground floor.

This Planning Justification Report and Urban Design Brief should provide sufficient justification for the preparation of the proposed Official Plan amendment for the re-designation of 1858 from Medium Density Area in the Liverpool Neighbourhood to be within the City Centre Neighbourhood, thereby allowing the property to be developed for Higher Density Development in conjunction with the adjoining 1854 Liverpool Road. It should also provide sufficient justification to amend Zoning By-law 3036 from Residential R3 Third Density to City Centre Mixed Use Area CC1 zone in By-law 7553-17, as amended, to provide for the increase in density.

The Site Plan Application and the Draft Plan of Condominium will be submitted at a later date. Additional studies are submitted as appendices to this Planning Rationale and Urban Design Brief.

18.0 REQUEST OF THE CITY;

In keeping with the above Planning Justification and Urban Design Brief, we respectfully ask the City to amend its Official Plan and Zoning By-law as set out on the following pages.

18.1

THE AMENDMENT

THE CORPORATION OF THE CITY OF PICKERING

BY-LAW NO. XXX/19

Being a By-law to adopt Amendment XXX/19 to the
Official Plan of the City of Pickering

Whereas the Council of the Corporation of the City of Pickering received an application to re-designate the subject lands being Lot 24, Registered Plan 492, municipally known as 1858 Liverpool Road, in the City of Pickering, as "City Centre" to permit a mixed use development consisting of a residential condominium apartment building that may contain ground floor commercial uses.

And whereas an amendment to the Official Plan is required to permit the proposed development:

Now therefore the Council of the Corporation of the City of Pickering enacts as follows:

1. Schedule 1:

Schedule 1 attached hereto with notations and references shown thereon are hereby declared to represent the amendment required to Schedule 1 of the Official Plan, to re-designate 1858 Liverpool Road, as "City Centre"

2. Policies:

A site-specific exemption to Table 6 of the Official Plan is hereby enacted as it relates to adding 1858 Liverpool Road to 1854 Liverpool Road to permit the following:

- A Net Residential Density of approximately 100 residential units with possible commercial uses on the ground floor.
- Maximum Floor Space Index 4.0 FSI.
- Maximum Floor Plate for a residential building 950 m².

3. Effective Date:

This By-law shall come into force in accordance with the provisions of the *Planning Act*.

By-law passed this day of , 2020.

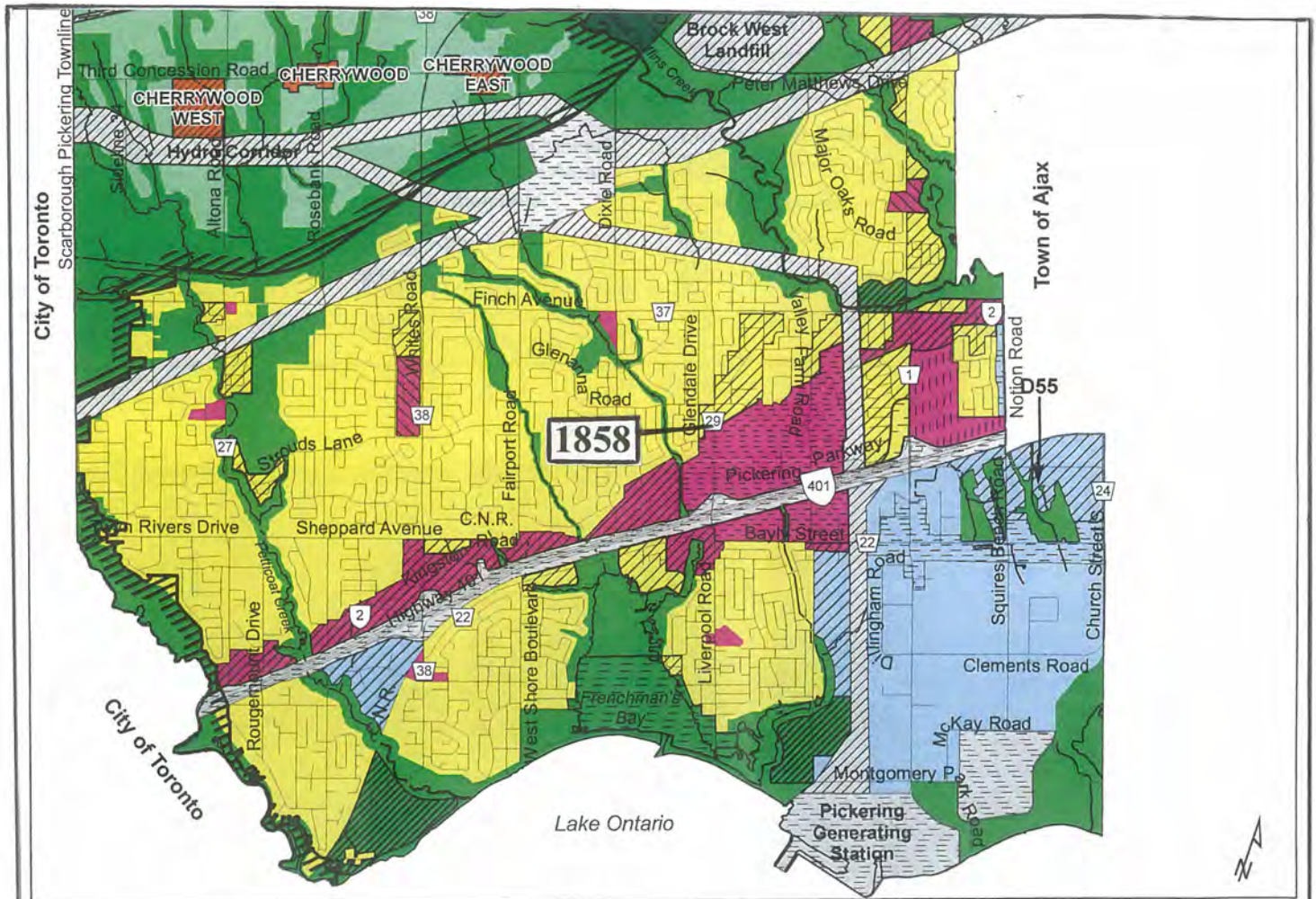
Signed: _____
Mayor of the City of Pickering
Dave Ryan

Signed: _____
Clerk of the City of Pickering

SCHEDULE 1 TO THE OFFICIAL PLAN IS HEREBY AMENDED

To re-designate 1858 Liverpool Road (Lot 24, R.P. 492)

**FROM:
MEDIUM DENSITY AREAS
TO
TOWN CENTRE**



**Schedule 1 to the
Pickering
Official Plan**

Edition 8



Sheet 1 of 3

City of Pickering
City Development Department
© June 2018
This Map Form Part of Edition 8 of the Pickering Official Plan and
Must be Read in Conjunction with the Other Schedules and the Text

Open Space System

- Seaton Natural Heritage System
- Natural Areas
- Active Recreational Areas
- Marina Areas
- Hamlet Heritage Open Space

Rural Settlements

- Rural Clusters
- Rural Hamlets

Land Use Structure

- Low Density Areas
- Medium Density Areas
- High Density Areas
- Mixed Use Areas**
 - Local Nodes
 - Community Nodes
 - Mixed Corridors
 - Specialty Retailing Node
 - City Centre
- Employment Areas**
 - General Employment
 - Prestige Employment
 - Mixed Employment

Freeways and Major Utilities

- Controlled Access Areas
- Potential Multi Use Areas

Seaton Symbols

- District Park
- Community Park
- High School

Other Designations

- Prime Agricultural Areas
- Deferrals
- Greenbelt Boundary

18.2 BACKGROUND TO THE OFFICIAL PLAN AMENDMENT

AMENDMENT XXX20 TO THE PICKERING OFFICIAL PLAN

Purpose:

The purpose of this Amendment is to change the designation and policies of the Pickering Official Plan to remove 1858 Liverpool Road from Map Neighbourhood 12, Liverpool and insert it (1858) to be included in Map Neighbourhood 8, City Centre, the intent being to allow the said 1858 to be developed in conjunction with 1854 Liverpool Road for a high density apartment dwelling that may contain commercial uses on the ground floor.

Location:

This amendment applies to 1858 Liverpool Road in the City of Pickering.

Basis:

The subject land, 1858 Liverpool Road, adjoins 1854 Liverpool Road in the City of Pickering, both of which are owned by Alireza Adejdani, carrying on business as Liverpool Estates.

1854 Liverpool Road is designated as being within Neighbourhood 8, City Centre, where High Density Residential Uses and Commercial Uses are permitted. 1858 Liverpool Road, on the other hand, is designated Medium Area in the Pickering Official Plan. The owner wishes to develop a 100-unit residential (condominium) apartment building with commercial units on the ground floor on both of these properties. The owner plans to retain about forty (40) residential units in this development for rental purposes, some of which will be in the affordable range, while the remainder will be sold as condominium units.

The Regional Official Plan, the Higher Order Plan, recognizes 1854 & 1858 as being within an Urban Growth Centre and a focal point within the Urban Area of the City of Pickering where institutional, major office, commercial, recreational, Region Public Services and where a major employment centre supporting Higher Order transit services is located.

The Regional Official Plan also recognizes that these Urban Growth Centres should contain a mix of predominately High Rise and Mid Rise Development but

leaves it up to the Local Official Plan to determine what is best suited for the particular area. These policies of the Regional Official Plan set the stage for High Density Residential Development, with allowances for commercial units on the ground floor to be located at 1854 & 1858 Liverpool Road. This requires an amendment to the Pickering Official Plan to re-designate 1858 Liverpool Road as "City Centre".

Although the Regional Official Plan recognizes part of the property as a Key Natural Heritage area, none of the trees on the property is considered as having any heritage value and further, the nearest creek, Pine Creek, is located some 1,500 metres to the west and present no connectivity with 1854 & 1858. Both the Arborist Report, prepared by David White and the Environmental Impact Comment and Study prepared by Cunningham Environmental Associates confirm this.

We also note that the subject property does not lie within a regulated area of the Toronto Region Conservation Authority.

**DRAFT ZONING BY-LAW AMENDMENT
CORPORATION OF THE CITY OF PICKERING
BY-LAW NUMBER 7553-17-1 TO AMEND BY-LAWS 3036 & 7553-17**

Legal Description:

This property is municipally known as 1858 Liverpool Road, is legally described as being in Lot 24, Registered Plan 492, in the City of Pickering.

- 1) **WHEREAS** authority is granted under Section 34 of the Planning Act, R.S.O. 1990, C.P. 13, for the City of Pickering to pass this by-law;
- 2) **AND WHEREAS** the owner wishes to construct a condominium building generally having 100 residential units which may contain commercial uses on the ground floor, on both of his adjoining lots, namely 1854 & 1858 Liverpool Road. These said lots are currently designated in the Regional Official Plan as an Urban Growth Centre which permits a mix of predominately High Rise and Mid-Rise Development and Commercial Development.
- 3) **AND WHEREAS** the City of Pickering Official Plan designates 1854 Liverpool Road as within the City Centre designation, while the adjoining 1858 is designated as Medium Density Residential Area;
- 4) **AND WHEREAS** the owner of the property, Alireza Adjedani, carrying on business as Liverpool Estates, is seeking to rezone the property municipally known as 1858 Liverpool Road *from Residential R3 in By-law 3036 to Mixed Use Area in the CC1 zone of By-law 7553-17, as amended*, to permit the said residential condominium building which may contain commercial uses on the ground floor in keeping with the zoning of his adjoining property to the south, namely 1854 Liverpool Road which is currently zoned Mixed Use Area (CC1) in By-law 7553-17.
- 5) **AND WHEREAS** authority is granted under Section 34 of the Planning Act, R.S.O. 1990, C.P. 13, for the City of Pickering to rezone 1858 Liverpool Road from Residential R3 to be included in the CC1 zone of By-law No. 7553-17, as amended by By-law 7553-17-1.

6) **AND WHEREAS** the matters set forth in this By-law are otherwise in conformity with the Official Plans of the Region of Durham and the City of Pickering, as amended by OPA XXX20 of the City of Pickering.

NOW THEREFORE the City of Pickering **ENACTS** as follows:

THAT the zoning map specifically Map 7 attached to and forming part of By-law 7553-17 is hereby amended by By-law 7553-17-1 to rezone the lands located on the west side of Liverpool Road, municipally known as 1858 Liverpool Road, more particularly described as Lot 24, Registered Plan 492, in the City of Pickering (shown herewith attached as Exception 6.14.2 (a) & (b) from the Low Density Residential (R3) zone in By-law 3036 to Mixed Use Area in the CC1 zone of By-law 7553-17 to permit a residential condominium building generally having 100 units which may permit commercial uses on the ground floor and having a maximum total of 15 floors to be constructed thereon in conjunction with the adjoining 1854 Liverpool Road, described as Lot 25, Registered Plan 492, subject to Exception 14, as follows;

E 14 Schedule 7	Lot 24, Registered Plan 492 Municipally known as 1858 Liverpool Road	Parent Zone CC1 Amending By-law 7553/17-1
--------------------	--	---

The following additional provisions apply:

6.14.1 Zone Provisions

(a) Notwithstanding Section 4.2 c) i), building height, the 45-degree angular plane shall not apply where adjoining properties are zoned RM 1-4 which permits the following uses, multiple dwelling horizontal residential and semi detached dwelling residential and R3-MU which permits the following uses, detached dwelling, business office, professional office, personal service shop, retail store.

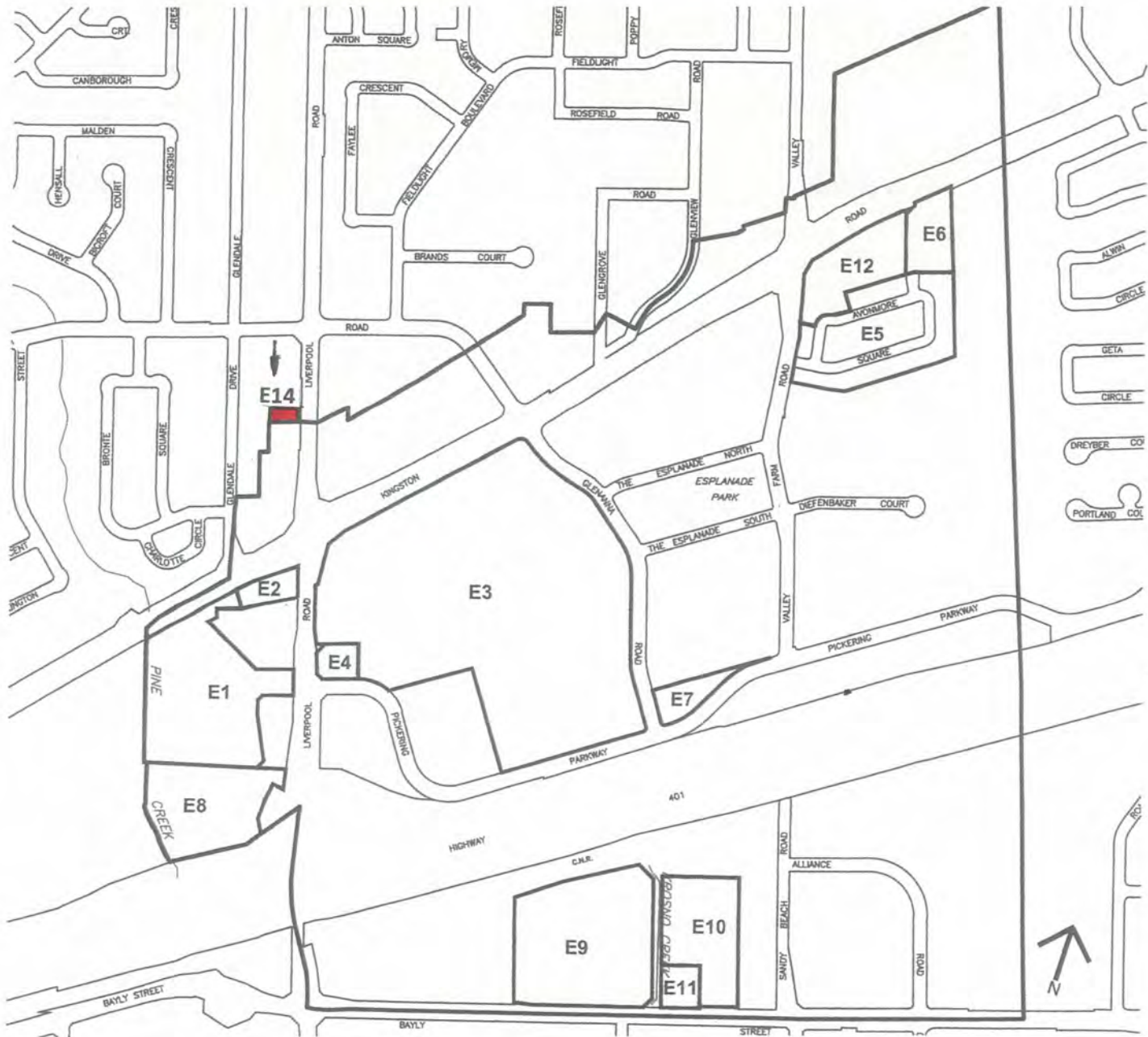
(b) Tower Floor Plate	Maximum Tower Floor Plate – 950 m ²
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(c) Floor Space Index	Maximum Floor Space Index – 4.0 FSI
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6.14.2

SPECIAL SITE FIGURE - Schedule 7 is hereby amended to add E14 for 1858 Liverpool Road as part of this By-law.

Figure 6.14.2 (a) hereby adds 1858 Liverpool Road as part of this By-law



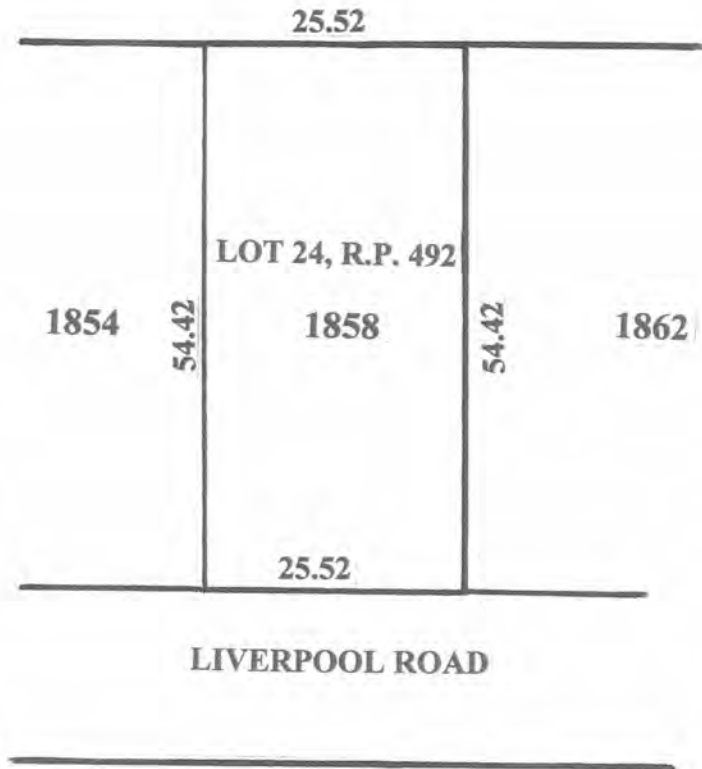
**PICKERING CITY CENTRE ZONING BY-LAW
SCHEDULE 7**

LEGEND - Exceptions

□ Exception

6.14.2 SPECIAL SITE FIGURE

Figure 6.14.2 (b) hereby adds 1858 Liverpool Road as part of this By-law



Effective Date:

This By-law shall come into force in accordance with the provisions of the Planning Act.

By-law passed this _____ day of _____, 2020.

Signed: _____
Mayor of the City of Pickering
Dave Ryan

Signed: _____
Clerk of the City of Pickering

***Appendices to Planning Justification Report & Sustainability and
Urban Design Brief***

19.0 ADDITIONAL REPORTS UNDERTAKEN:

19.1 Functional Servicing Study Screening, Drainage and Storm Water Management Study, prepared by Politis Engineering Ltd. (See Appendix A)

Ten (10) copies are included. This study concludes that there is sufficient existing planned service infrastructure to service the subject site. However, given the underground parking facility and the existing slope of the property westwards, it will be necessary to regrade the property to decrease the amount of overland flow westwards.

19.2 Transportation Study, prepared by Trans Plan Engineering: (See Appendix B)

Ten (10) copies are included. This study has taken into account the proposed development immediately to the south (Altona Group of Companies) the existing development and other existing and proposed developments on Liverpool road north of Highway 2. The Study concluded in Section 10, Site Plan review, that the proposed access at Liverpool Road meets the guideline requirements; that Liverpool road, a Type 'B' arterial, permits private access generally located a minimum of 80 metres apart in urban areas. However, since the subject proposal fronts on an arterial road and lies within the Town Centre, speed and access spacing requirements do not apply. The throat length requirements of 15 metres from the radius of the curb can be met by removing four (4) surface parking spaces from the north-east corner; the minimum site distance requirements based on an assumed design speed of 70 km looking north and south along Liverpool Road can be met; the review shows that all design vehicles can properly circulate the proposed site with minimal conflict.

19.3 Geotechnical Report, prepared by Cambium Inc. (See Appendix C)

Ten (10) copies are included. The study indicates that three (3) boreholes were drilled with one additional well to confirm the bedrock surface elevation and core the bedrock. The study found that ground water was encountered in the three (3) monitoring wells at depths of 2.3 and 3.3 mbgs. Given this dewatering of the site during construction and for the permanent dewatering of the site and

given the proposal calls for two (2) levels of underground parking, specific requirements for the construction of the proposed building is required. This includes steel H pile foundations and drilled shaft caissons.

**19.4 Hydrogeological Assessment Report, prepared by Cambium Inc:
(See Appendix D)**

Ten (10) copies are included. The Study prepared by Cambium Inc., noted that the site is not located within a regulated area for service water protection; ground water was encountered in the three monitoring wells at depths of between 2.3 mbgs and 3.3 mbgs. It is likely that elevations below this depth will require a dewatering system to depress the ground water level below the excavation bases, both during construction and for the permanent dewatering of the sub-surface levels in the building.

Since ground level water flow of between 72 m³ per day and 159 m³ per day into the excavation can be expected, an application for a category 3 permit from the Ministry of Environment Conservation and Parks (MOECP) for the permanent dewatering of the sub-surface levels will be necessary. The study noted that there are no water supply wells in the zone of influence of the excavation. Hence, the dewatering will have no impact on the surrounding water supply wells as a result of the proposed development.

**19.5 Environmental Assessment or a Site Screening Questionnaire,
Prepared by Cambium Inc. (See Appendix E)**

Ten copies are included. After carefully reviewing the site and the existing buildings, Cambium Inc. was satisfied that a Phase 1 Environmental Assessment was not required. Instead, a Site screening Questionnaire was prepared by Cambium Inc. and signed by a Qualified Person and the owner.

19.6 Noise Study, prepared by SS Wilson Associates: (See Appendix F)

Ten (10) copies are included. This study recognizes that noise from Highway 2 and Liverpool Road will allow affect the dwelling occupants. To alleviate this problem, the consultant indicates that noise controls are required for all the residential units of the building. Additionally, depending upon the quality of the mechanical units chosen, i.e. the garage exhaust, the cooling tower and the emergency generator, noise controls may also be required.

19.7 Environmental Impact Assessment prepared by Cunningham Associates Ltd. (See Appendix G)

Ten (10) copies are included. The Cunningham Report found that there are approximately forty-four (44) trees on the subject property with the remainder of the vegetation consisting of manicured grass lawns, flower beds and ornamental shrubs. Both the Cunningham Report and Arborist Report noted that there are no features on the subject site that would qualify as Key Natural Heritage and Hydrologic Features, neither does the number of trees, their density or distribution qualifies as Woodland or Woodlands. It is noted that although the Regional Official Plan identifies the subject site as having Key Natural Heritage and Hydrologic Features, the City of Pickering Official Plan does not show any features on the subject property.

tab 1 CCI BYLAN

4.0 Permitted Uses and Zone Regulations

4.1 Permitted Uses

The following Table establishes the uses permitted in the City Centre One (CC1), City Centre Two (CC2), City Centre Residential One (CCR1), City Centre Residential Two (CCR2), City Centre Civic (CCC), Open Space (OS) and Natural Heritage System (NHS) Zones.

Table 3 – Permitted Uses

Use	Zone						
	CC1	CC2	CCR1	CCR2	CCC	OS	NHS
Residential Uses							
<i>Accessory Dwelling Unit</i>	•(5)	•(5)	•(5)	•(5)			
<i>Apartment Dwelling</i>	•	•		•			
<i>Back-to-Back Townhouse Dwelling</i>	• (3)	•(3)	•	•			
<i>Block Townhouse Dwelling</i>	• (3)	•(3)	•	•			
<i>Live Work Dwelling</i>	•	•		•			
<i>Stacked Dwelling</i>	• (3)	•(3)		•			
<i>Street Townhouse Dwelling</i>	• (3)	•(3)	•	•			
Non-Residential Uses							
<i>Art Gallery/Studio</i>	•	•			•		
<i>Assembly Hall</i>	•				•		
<i>Cinema</i>	•				•		
<i>Commercial Fitness/Recreational Centre</i>	•	•		• (1)	•		
<i>Community Centre</i>	•	•			•	•	
<i>Community Garden</i>	•	•	•	•	•		•
<i>Convention Centre or Conference Hall</i>	•				•		
<i>Day Care Centre</i>	•	•		• (1)	•		
<i>District Energy Facility</i>	•	•			•		
<i>Dry Cleaning Distribution Centre</i>	•	•		• (1)			
<i>Financial Institution</i>	•	•					
<i>Food Store</i>	•	•			•		
<i>Home-Based Business</i>	•	•	•	•			
<i>Hotel</i>	•	•					
<i>Kiosk</i>	•	•		•	•	•	
<i>Library</i>	•	•			•		
<i>Long-Term Care Facility</i>	•	•		•			
<i>Museum</i>	•	•			•		
<i>Nightclub</i>	•						
<i>Office</i>	•	•	•	•	•		
<i>Office, Medical</i>	•	•					

Use	Zone						
	CC1	CC2	CCR1	CCR2	CCC	OS	NHS
Non-Residential Uses (continued)							
Park	•	•	•	•	•	•	•(4)
Parking Structure	•	•					
Personal Service Shop	•	•	•	•			
Place of Amusement	•						
Place of Worship	•						
Private Club	•	•					
Private Home Daycare	•	•	•	•			
Restaurant	•	•					
Retail Store	•	•					
Retirement Home	•	•		•			
School, Commercial	•	•					
School, Elementary, Secondary	•	•(2)					
School, Post-Secondary	•	•					
School, Private	•	•					
Service and Repair Shop	•	•					
Stormwater Management Facilities							
Theatre	•				•		
Veterinary Clinic	•	•					

Notes:

1. use shall be limited to the first two *storeys* of a *building*
2. maximum one located within this zone
3. use prohibited in areas designated as *Active At Grade Frontages* on Schedule 6 to this By-law
4. No *buildings* and *structures* shall be permitted
5. use shall be permitted within a *detached dwelling, semi-detached dwelling and street townhouse dwelling*

4.2 Zone Regulations

The regulations for the City Centre Zones are set out in Table 4, below:

Table 4 – Zone Regulations

a) <i>Floor Space Index (FSI)</i>	i) minimum – as shown on Schedule 3 ii) maximum – 5.75
b) <i>Building Height</i>	i) minimum – as shown on Schedule 4 ii) maximum – as shown on Schedule 5
c) <i>Building Height Adjacent to Grade Related Dwellings</i>	i) <i>building height</i> shall be limited by a 45-degree <i>angular plane</i> measured 7.5 metres from the property line of adjacent detached, semi-detached and <i>street townhouse dwellings</i> at a height of 10.5 metres above <i>grade</i>
d) <i>Building Setback from Street Line</i>	i) minimum – 1.0 metre ii) maximum – 4.0 metres iii) notwithstanding (ii) above, for residential <i>buildings</i> located outside the required <i>Active At Grade Frontages</i> , as shown on Schedule 6 to this by-law, the maximum <i>setback from street line</i> shall be 6.0 metres iv) the maximum <i>setback</i> may be increased up to an additional 5.0 metres where the entire <i>setback</i> is used for publicly-accessible open space, in the form of a plaza or courtyard, and does not include <i>parking or loading spaces</i>
e) <i>Setback for Below Grade Parking Structures</i>	i) minimum – 0.0 metres
f) <i>Podium Requirements for Buildings greater than 37.5 metres</i>	i) minimum <i>height of a podium</i> – 10.5 metres ii) maximum <i>height of a podium</i> – 20.0 metres
g) <i>Tower Floor Plates</i>	i) maximum <i>tower floor plate</i> for a residential <i>building</i> – 850 square metres

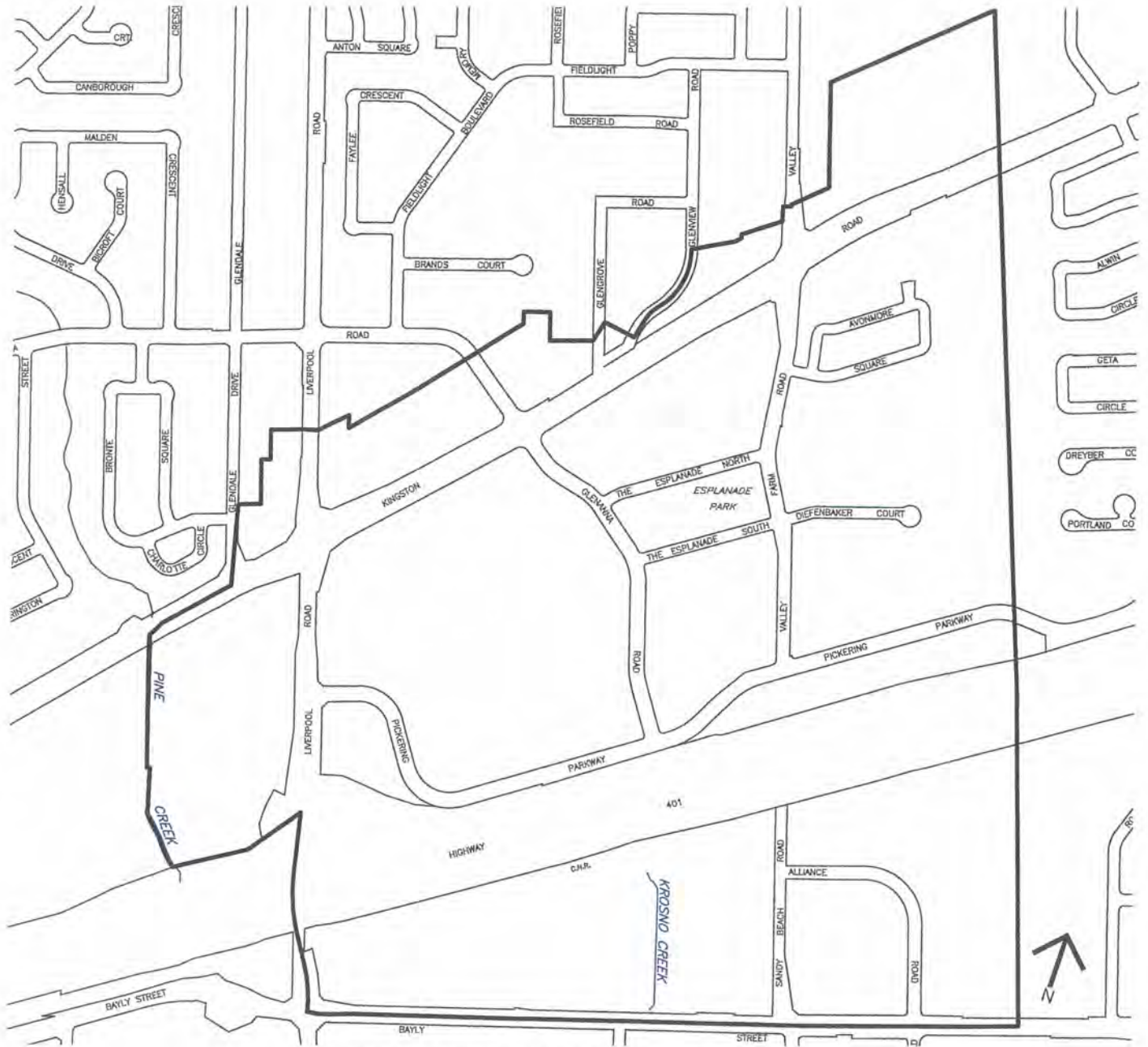
<p>h) <i>Building Separation</i></p>	<p>i) minimum – 11.0 metres, except that the separation may be reduced to 3.0 metres if there are no <i>primary windows</i> or <i>balconies</i> on the wall facing the adjacent flanking <i>building</i></p> <p>ii) minimum – 18.0 metres for any portion of a <i>building</i> greater than 25.5 metres in <i>height</i>, except that the separation may be reduced to 11.0 metres if there are no <i>primary windows</i> or <i>balconies</i> on the wall facing the adjacent flanking <i>building</i></p> <p>iii) minimum – 25.0 metres for any portion of a <i>building</i> greater than 37.5 metres in <i>height</i></p>
<p>i) <i>Main Wall Stepback for Buildings equal to or less than 37.5 metres in height</i></p>	<p>i) minimum <i>main wall</i> stepback - 1.5 metres between 4.5 metres and 15.0 metres in <i>height</i> on any <i>building</i> face abutting a <i>street line</i></p>
<p>j) <i>Main Wall Stepback for Buildings greater than 37.5 metres</i></p>	<p>i) minimum <i>main wall</i> stepback - 3.0 metres from the <i>main wall</i> of a <i>point tower</i> and the <i>main wall</i> of a <i>podium</i> on any <i>building</i> face abutting a <i>street line</i></p> <p>ii) minimum <i>main wall</i> stepback - 3.0 metres between the top 6.0 metres and 18.0 metres of a <i>point tower</i> for <i>buildings</i> equal to and greater than 73.5 metres</p>
<p>k) <i>Balcony Requirements</i></p>	<p>i) minimum depth – 1.5 metres</p> <p>ii) notwithstanding Section 2.4 (c), <i>balconies</i> are not permitted to project beyond the <i>main wall</i> less than 10.5 metres in <i>height</i> above <i>grade</i> along any <i>street line</i> with required <i>Active At Grade Frontages</i>, as shown on Schedule 6 to this By-law</p>
<p>l) <i>Continuous Length of Buildings along a Street Line</i></p>	<p>i) minimum – 60 percent of the <i>street frontage</i> of a <i>lot</i> must be occupied by a <i>building</i></p>
<p>m) <i>Buildings Requiring Active At Grade Frontages</i></p>	<p>i) minimum – 40 percent of the <i>first storey</i> of a non-residential <i>building</i> along any <i>street line</i> with required <i>Active At Grade Frontages</i>, as shown on Schedule 6 of this by-law, shall be comprised of openings and transparent glazing</p> <p>ii) a <i>primary entrance door</i> with direct and unobstructed access open to the public shall be incorporated into the wall of a <i>building</i> facing the <i>street line</i></p> <p>iii) minimum <i>ground floor height</i> – 4.5 metres</p>

n) <i>Landscaped Area</i>	i) minimum – 10 percent of the area of a <i>lot</i>
o) <i>Amenity Space Requirements for Apartment Dwellings</i>	i) minimum – 2.0 square metres of indoor <i>amenity space</i> is required per <i>apartment dwelling unit</i> : ii) minimum – 2.0 square metres of outdoor <i>amenity space</i> is required per <i>apartment dwelling unit</i> (a minimum contiguous area of 40.0 square metres must be provided in a common location)

4.2.1 Calculation of Landscaped Area

The minimum *landscaped area* requirement is to be calculated as follows:

- a) to qualify for any minimum *landscaped area* requirement of this By-law, an individual area of landscaping provided on a *lot* shall have a minimum dimension of 3.0 metres by 3.0 metres;
- b) landscaping provided on a roof of a *building* shall be included in the calculation of required *landscaped area* on the *lot*, provided it meets the requirements of Subsection a) above.



**PICKERING CITY CENTRE ZONING BY-LAW
SCHEDULE 1**

LEGEND

□ City Centre



**PICKERING CITY CENTRE ZONING BY-LAW
SCHEDULE 2**

LEGEND - Land Use Categories

- CC1 - City Centre One
- CC2 - City Centre Two
- CCR1 - City Centre Residential One
- CCR2 - City Centre Residential Two
- CCC - City Centre Civic
- OS - Open Space
- NHS - Natural Heritage System

* boundary of Krosno Creek to be further refined



PICKERING CITY CENTRE ZONING BY-LAW

SCHEDULE 3

LEGEND - Minimum FSI

- 0.75
- 2.0



**PICKERING CITY CENTRE ZONING BY-LAW
SCHEDULE 4**

LEGEND - Minimum Building Height

-  10.5 metres (3 Functional Floors)
-  19.5 metres
-  55.0 metres



PICKERING CITY CENTRE ZONING BY-LAW

SCHEDULE 5

LEGEND - Maximum Building Height

- 17 metres
- 47 metres
- 77 metres
- 122 metres

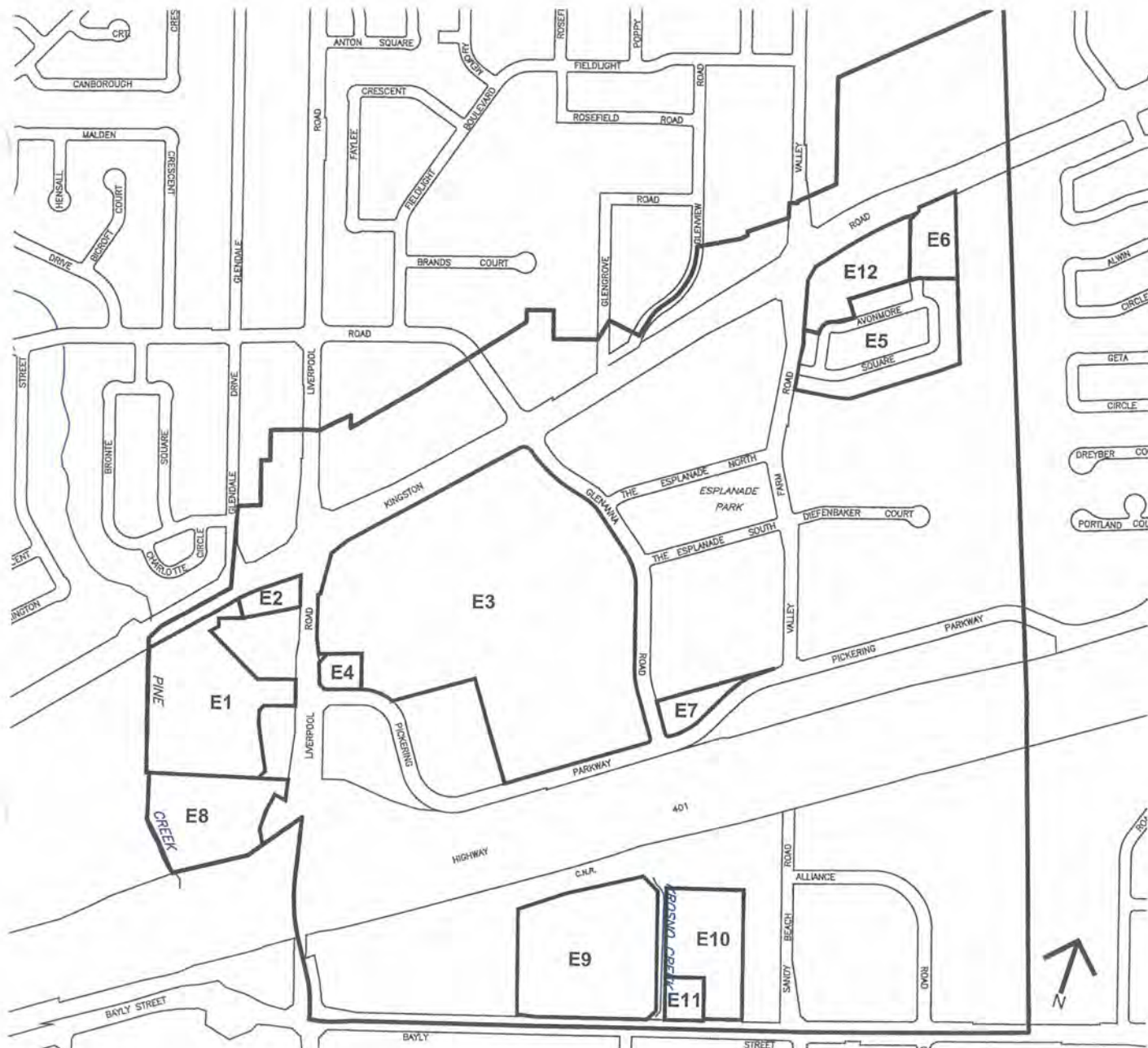


PICKERING CITY CENTRE ZONING BY-LAW

SCHEDULE 6

LEGEND - Active At Grade Frontages

— Required Active At Grade Frontages

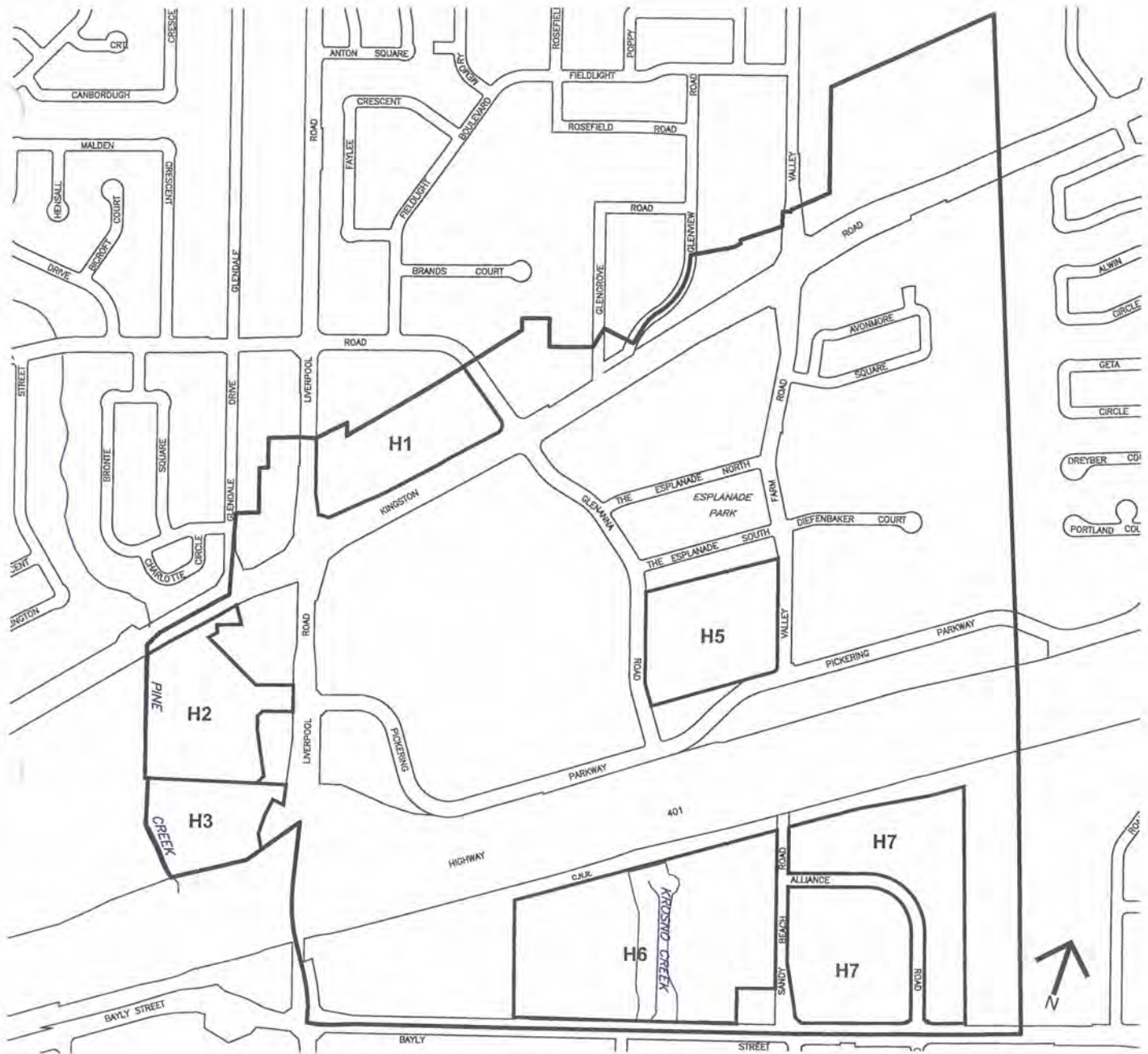


PICKERING CITY CENTRE ZONING BY-LAW

SCHEDULE 7

LEGEND - Exceptions

□ Exception



PICKERING CITY CENTRE ZONING BY-LAW

SCHEDULE 8

LEGEND - Holding Provisions

□ Hold Zones

Job 2 By-laws

SECTION 9 - ONE-FAMILY DETACHED DWELLING

THIRD DENSITY ZONE - R3

The following provisions shall apply in all ONE-FAMILY DETACHED DWELLING THIRD DENSITY ZONES R3;

No person shall hereafter change the use of any building, structure or land nor erect and use any building or structure except in accordance with the following provisions:

- 9.1 USES PERMITTED
 - A one-family detached dwelling
- 9.2 AREA REQUIREMENTS
 - Where both a municipal piped water supply and sanitary sewers are available.
 - 9.2.1 Lot Frontage
 - Minimum - 60 feet
 - 9.2.2 Lot Area
 - Minimum - 6,000 square feet
 - 9.2.3 Yard Requirements
 - Front Yard - Minimum 25 feet - subject to the requirements of Section 5.22
 - Rear Yard - Minimum 25 feet
 - Side Yard - Minimum one side six (6) feet other side ten (10) feet except as provided in Section 5.18 (d)
 - 9.2.4 Ground Floor Area
 - Minimum - 800 square feet
 - 9.2.5 Floor Area
 - Minimum - 1,200 square feet
 - 9.2.6 Lot Coverage
 - Maximum - 33 per cent.

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ACCESSORY BUILDINGS AND USES

Revoked and
amended by
By-law 4935/97

- (a) Except as may be provided herein, all accessory buildings which are not part of the main building shall be erected in the rear yard;

Revoked and
amended by
By-law 4935/97

- (b) Accessory structures must be set back a minimum of 0.6 metre from all lot lines except that:

A accessory structures greater than 10 square metres in area shall be set back a minimum of 1.0 metres from all lot lines or,

B accessory structures greater than 1.8 metres in height shall be set back a minimum of 1.0 metres from all lot lines.

Revoked and
amended by
By-law 4935/97

- (c) No accessory building shall exceed a height of 3.5 metres in any residential zone and 4.5 metres in any commercial zone;

- (d) Attached Accessory Buildings:

Any accessory building may be erected as part of the main building, provided that all yard and area requirements of the Zone are complied with. Notwithstanding any other provision in this By-law where a garage is erected as part of a detached dwelling, the minimum required side yard for a Residential "R1" or "R3" Zone shall be 1.8 metres; and for any other residential Zone shall be 1.5 metres.

Revoked and
amended by
By-law 4935/97

- (e) The total lot coverage of all accessory buildings excluding private detached garages, shall not exceed 5 percent of the lot area;

Revoked and
amended by
By-law 4935/97

- (f) Human Habitation is not permitted in an accessory structure.

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THE CORPORATION OF THE CITY OF PICKERINGBY-LAW NO. 5850/01

Being a By-law to amend Restricted Area (Zoning) By-law 3036, as amended, to implement the Official Plan of the City of Pickering District Planning Area, Region of Durham in Lot 23, Plan 492 in the City of Pickering.
(A 36/00)

WHEREAS the Council of The Corporation of the City of Pickering deems it desirable to permit the establishment of personal service shop, business and professional office, and limited retail uses, on lands being Lot 23, Plan 492, City of Pickering;

AND WHEREAS an amendment to By-law 3036 is therefore deemed necessary;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE CITY OF PICKERING HEREBY ENACTS AS FOLLOWS:

1. SCHEDULE I

Schedule I attached hereto with notations and references shown thereon is hereby declared to be part of this By-law.

2. AREA RESTRICTED

The provisions of this By-law shall apply to those lands in Lot 23, Plan 492 in the City of Pickering, designated "R3-MU" on Schedule I attached hereto.

3. GENERAL PROVISIONS

No building, land or part thereof shall hereafter be used, occupied, erected, moved, or structurally altered except in conformity with the provisions of this By-law.

4. DEFINITIONS

In this By-law,

- (1) "Adult Entertainment Parlour" shall mean a building or part of a building in which is provided, in pursuance of a trade, calling, business or occupation, services appealing to or designed to appeal to erotic or sexual appetites or inclinations;
- (2) "Business Office" shall mean a building or part of a building in which the management or direction of business, a public or private agency, a brokerage or a labour or fraternal organization is carried on and which may include a telegraph office, a data processing establishment, a newspaper publishing office, the premises of a real estate or insurance agent, or a radio or television broadcasting station and related studios or theatres, but shall not include a retail store;
- (3) "Convenience Store" shall mean a retail store in which food, drugs, periodicals or similar items of day-to-day household necessity are kept for retail sale primarily to residents of or persons employed in the immediate neighbourhood;
- (4) (a) "Dwelling" shall mean a building or part of a building containing one or more dwelling units, but does not include a mobile home or trailer;

- (b) "Dwelling Unit" shall mean one or more habitable rooms occupied or capable of being occupied as a single, independent, and separate housekeeping unit containing a separate kitchen and sanitary facilities;
 - (c) "Dwelling, Single or Single Dwelling" shall mean a single dwelling containing one dwelling unit and uses accessory hereto;
 - (d) "Dwelling, Detached or Detached Dwelling" shall mean a single dwelling which is freestanding, separate, and detached from other main buildings or structures;
- (5) "Food Store" shall mean a building or part of a building in which primarily food produce is stored, offered and kept for retail sale to the public and in which items or merchandise of day-to-day necessity may be stored, offered and kept for retail sale to the public;
- (6) (a) "Gross Floor Area - Residential" shall mean the aggregate of the floor areas of all storeys of a building or structure, or part thereof as the case may be, other than a private garage, an attic, or a cellar;
- (b) "Gross Leasable Floor Area" shall mean the aggregate of the floor areas of all storeys of a building or structure, or part thereof as the case may be, other than rooms jointly used by tenants of the building, such as garbage storage areas, mechanical and electrical rooms;
- (7) (a) "Lot" shall mean an area of land fronting on a street which is used or intended to be used as the site of a building, or group of buildings, as the case may be, together with any accessory buildings or structures, or a public park or open space area, regardless of whether or not such lot constitutes the whole of a lot or block on a registered plan of subdivision;
- (b) "Lot Coverage" shall mean the percentage of lot area covered by all buildings on the lot;
- (c) "Lot Frontage" shall mean the width of a lot between the side lot lines measured along a line parallel to and 7.5 metres distant from the front lot line;
- (8) "Personal Service Shop" shall mean an establishment in which a personal service is performed and which may include a barber shop, a beauty salon, a shoe repair shop, a tailor or a dressmaking shop or a photographic studio, but shall not include a body-rub parlour as defined in section 224 (9)(b) of the Municipal Act, R.S.O. 1990, Chapter M.45, as amended from time-to-time, or any successor thereto, or an Adult Entertainment Parlour as defined herein;
- (9) "Professional Office" shall mean a building or part of a building in which medical, legal or other professional service is performed or consultation given, and which may include a clinic, the offices of an architect, a chartered accountant, an engineer, a lawyer or a physician, but shall not include a body-rub parlour as defined in section 224 (9)(b) of the Municipal Act, R.S.O. 1990, chapter M.45, as amended from time-to-time, or any successor thereto, or an Adult Entertainment Parlour as defined herein;

- (10) "Retail Store" shall mean a building or part of a building in which goods, wares, merchandise, substances, articles or things are stored, kept and offered for retail sale to the public;
- (11) (a) "Yard" shall mean an area of land which is appurtenant to and located on the same lot as a building or structure and is open, uncovered, and unoccupied above ground except for such accessory buildings, structures, or other uses as are specifically permitted thereon;
- (b) "Front Yard" shall mean a yard extending across the full width of a lot between the front lot line of the lot and the nearest wall of the nearest main building or structure on the lot;
- (c) "Front Yard Depth" shall mean the shortest horizontal dimension of a front yard of a lot between the front lot line and the nearest wall of the nearest main building or structure on the lot;
- (d) "Rear Yard" shall mean a yard extending across the full width of a lot between the rear lot line of the lot, or where there is no rear lot line, the junction point of the side lot lines, and the nearest wall of the nearest main building or structure on the lot;
- (e) "Rear Yard Depth" shall mean the shortest horizontal dimension of a rear yard of a lot between the rear lot line of the lot, or where there is no rear lot line, the junction point of the side lot lines, and the nearest wall of the nearest main building or structure on the lot;
- (f) "Side Yard" shall mean a yard of a lot extending from the front yard to the rear yard, and from the side lot line to the nearest wall of the nearest main building or structure on the lot;
- (g) "Side Yard Width" shall mean the shortest horizontal dimension of a side yard of a lot between the side lot line and the nearest wall of the nearest main building or structure on the lot;
- (h) "Interior Side Yard" shall mean a side yard other than a flankage side yard.

5. PROVISIONS

(1) Uses Permitted ("R3-MU" Zone)

No person shall within the lands designated "R3-MU" on Schedule I attached hereto, use any lot or erect, alter, or use any building or structure for any purpose except the following:

- (i) detached dwelling;
- (ii) business office;
- (iii) professional office;
- (iv) personal service shop;
- (v) retail store.

(2) Zone Requirements ("R3-MU" Zone)

No person shall within the lands designated "R3-MU" on Schedule I attached hereto, use any lot or erect, alter, or use any building except in accordance with the following provisions:

(a) AREA REQUIREMENTS

- (i) Any permitted use shall be subject to the area requirements of Section 9.2 of Zoning By-law 3036, as amended;
- (ii) Despite (i) above, the minimum gross floor area for a detached dwelling residential use shall be 90 square metres;

(b) PARKING REQUIREMENTS:

- (i) For the purpose of this clause, "parking space" shall mean a useable and accessible area of not less than 2.6 metres in width and not less than 5.3 metres in length for the temporary parking of a vehicle, but shall not include any portion of a parking aisle or driveway;
- (ii) There shall be provided and maintained on the lands designated "R3-MU" on Schedule I attached hereto, a minimum of 8 parking spaces for any business office, professional office, personal service shop, and retail store, including a detached dwelling;
- (iii) Despite (ii) above, there shall be provided and maintained on the lands designated "R3-MU" on Schedule I attached to this By-law a minimum of 1 parking space for a detached dwelling only;
- (iv) Clauses 5.21.2 a) and 5.21.2 b) of By-law 3036, as amended, shall not apply to the lands designated "R3-MU" on Schedule I attached hereto;
- (v) Notwithstanding clauses 5.21.2g) and 5.21.2k) of By-law 3036, as amended, all entrance and exits to parking areas and all parking areas shall be surfaced with brick, asphalt, or concrete, or any combination thereof;

(c) SPECIAL REGULATIONS:

- (i) The maximum aggregate gross leasable floor area for all business office, professional office, personal service shop, and retail stores shall be 130 square metres;
- (ii) All uses, other than parking, shall take place entirely within enclosed buildings or structures with no outside storage or display;
- (iii) For the purposes of this By-law, a retail store shall not include a convenience store or a food store as defined herein;
- (iv) The maximum building height shall not exceed one-storey and 6.0 metres in height.

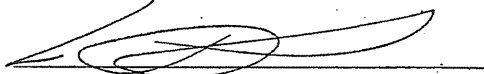
6. BY-LAW 3036

By-law 3036, as amended, is hereby further amended only to the extent necessary to give effect to the provisions of this By-law as it applies to the area set out in Schedule I attached hereto. Definitions and subject matters not specifically dealt with in this By-law shall be governed by relevant provisions of By-law 3036, as amended.

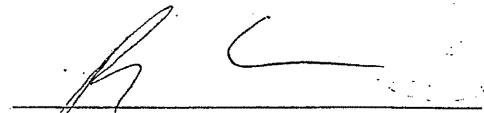
7. EFFECTIVE DATE

This By-law shall take effect from the day of passing hereof subject to the approval of the Ontario Municipal Board, if required.

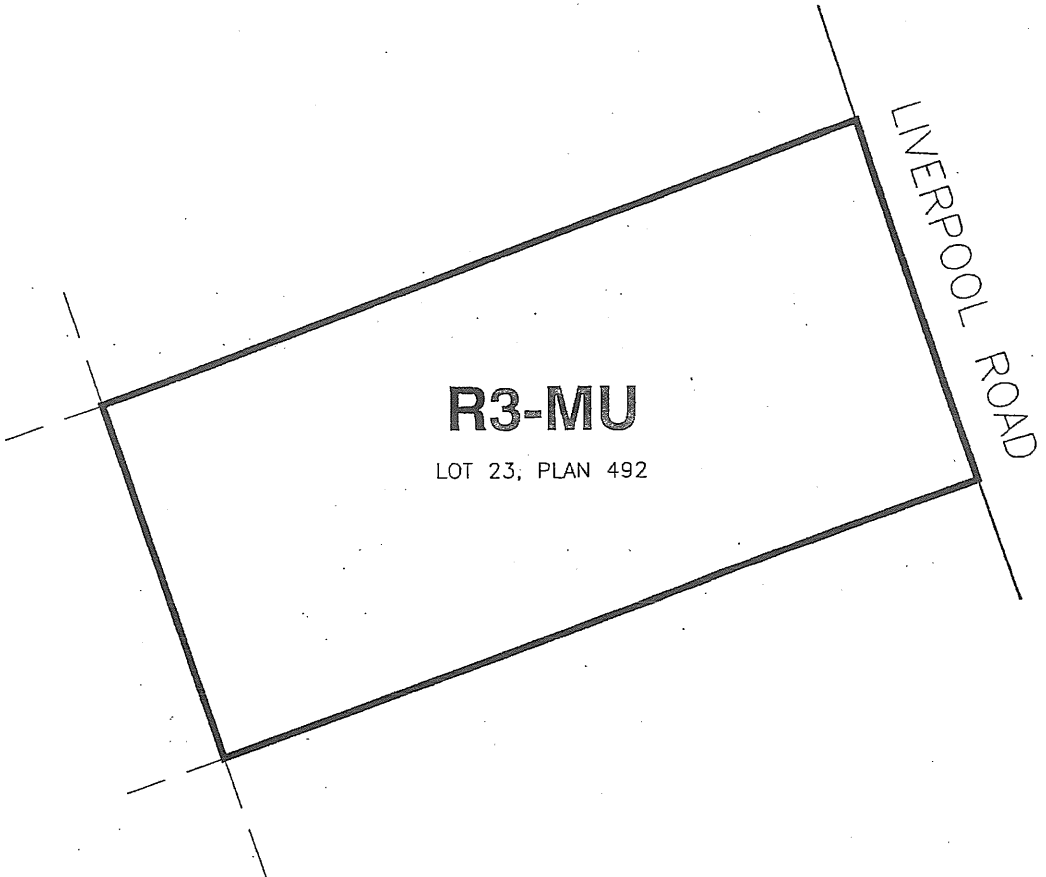
BY-LAW read a first, second, and third time and finally passed this 18th day of June, 2001.




Wayne Arthurs, Mayor



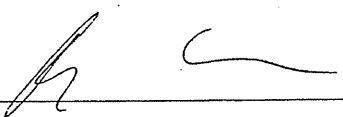
Bruce Taylor, Clerk



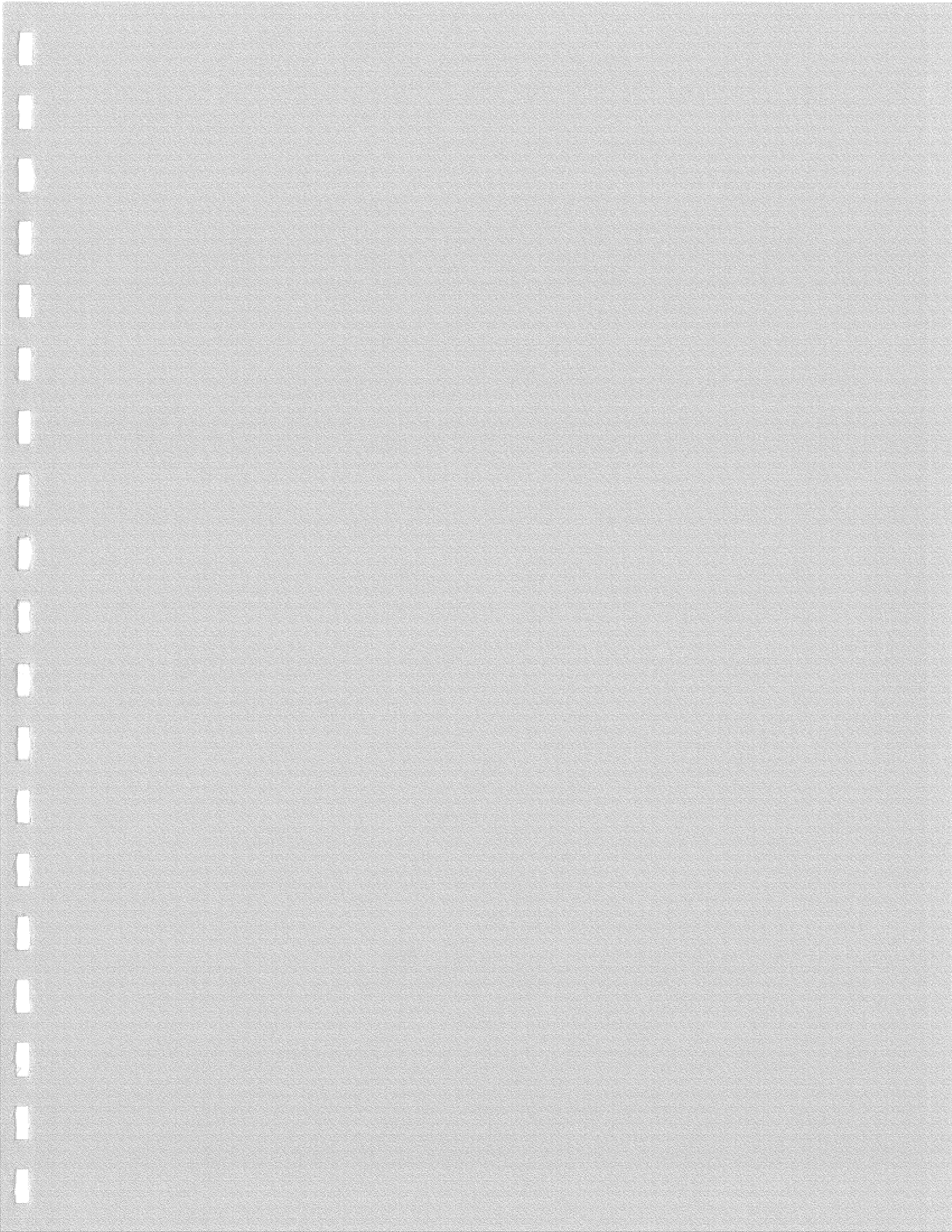
SCHEDULE I TO BY-LAW 5850/01
PASSED THIS 18th
DAY OF June **2001**

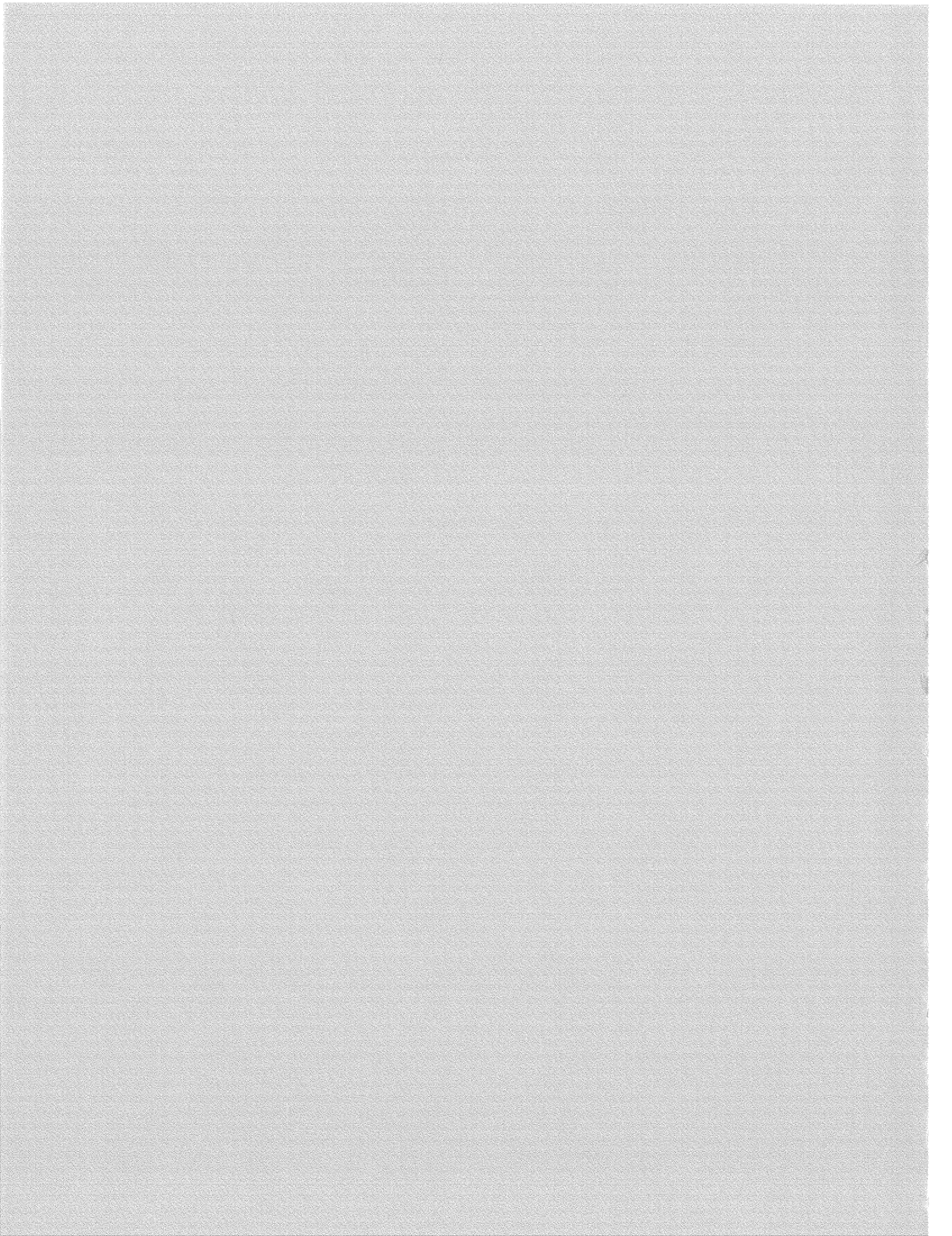


MAYOR



CLERK





THE CORPORATION OF THE CITY OF PICKERING

BY-LAW NO. 6887/08

Being a By-law to amend Restricted Area (Zoning) By-law 3036, as amended, to implement the Official Plan of the City of Pickering District Planning Area, Region of Durham, in Lot 22, Plan 492, in the City of Pickering. (A 13/08)

WHEREAS the Council of The Corporation of the City of Pickering deems it desirable to permit the establishment of business offices, professional offices, a veterinary clinic and a residential dwelling unit on lands being Lot 22, Plan 492, in the City of Pickering;

AND WHEREAS an amendment to By-law 3036, as amended, is therefore deemed necessary;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE CITY OF PICKERING HEREBY ENACTS AS FOLLOWS:

1. SCHEDULE I

Schedule I attached to this By-law with notations and references shown thereon is hereby declared to be part of this By-law.

2. AREA RESTRICTED

The provisions of this By-law shall apply to those lands in Lot 22, Plan 492, in the City of Pickering, designated "R3-MU-1" on Schedule I attached hereto.

3. GENERAL PROVISIONS

No building, land or part thereof shall hereafter be used, occupied, erected, moved or structurally altered except in conformity with the provisions of this By-law.

4. DEFINITIONS

In this By-law,

- (1) "Adult Entertainment Parlour" shall mean a building or part of a building in which is provided, in pursuance of a trade, calling, business or occupation, services appealing to or designed to appeal to erotic or sexual appetites or inclinations;

- (2) "Business Office" shall mean a building or part of a building in which the management or direction of business, a public or private agency, a brokerage or a labour or fraternal organization is carried on and which may include a telegraph office, a data processing establishment, a newspaper publishing office, the premises of a real estate or insurance agent, or a radio or television broadcasting station and related studios or theatres, but shall not include a retail store;
- (3)
 - (a) "Dwelling" shall mean a building or part of a building containing one or more dwelling units, but does not include a mobile home or trailer;
 - (b) "Dwelling Unit" shall mean one or more habitable rooms occupied or capable of being occupied as a single, independent, and separate housekeeping unit containing a separate kitchen and sanitary facilities;
 - (c) "Dwelling, Single or Single Dwelling" shall mean a single dwelling containing one dwelling unit and uses accessory hereto;
 - (d) "Dwelling, Detached or Detached Dwelling" shall mean a single dwelling which is freestanding, separate, and detached from other main buildings or structures;
- (4) "Gross Leasable Floor Area" shall mean the aggregate of the floor areas of all storeys above or below established grade designed for owner or tenant occupancy or exclusive use only, but excluding storage areas below established grade;
- (5)
 - (a) "Lot" shall mean an area of land fronting on a street which is used or intended to be used as the site of a building, or group of buildings, as the case may be, together with any accessory buildings or structures, or a public park or open space area, regardless of whether or not such lot constitutes the whole of a lot or block on a registered plan of subdivision;
 - (b) "Lot Coverage" shall mean the percentage of lot area covered by all buildings on the lot;
 - (c) "Lot Frontage" shall mean the width of a lot between the side lot lines measured along a line parallel to and 7.5 metres distant from the front lot line;
- (6) "Professional Office" shall mean a building or part of a building in which medical, legal or other professional service is performed or consultation given, and which may include a clinic, the offices of an architect, a chartered accountant, an engineer, a lawyer or a physician, but shall not include a body-rub parlour as defined in Section 224 (9)(b) of the *Municipal Act*, R.S.O. 1990, chapter M.45, as amended from time-to-time, or any successor thereto or an Adult Entertainment Parlour as defined herein;

- (7) (a) "Yard" shall mean an area of land which is appurtenant to and located on the same lot as a building or structure and is open, uncovered, and unoccupied above ground except for such accessory buildings, structures, or other uses as are specifically permitted thereon;
- (b) "Front Yard" shall mean a yard extending across the full width of a lot between the front lot line of the lot and the nearest wall of the nearest main building or structure on the lot;
- (c) "Front Yard Depth" shall mean the shortest horizontal dimension of a front yard of a lot between the front lot line and the nearest wall of the nearest main building or structure on the lot;
- (d) "Rear Yard" shall mean a yard extending across the full width of a lot between the rear lot line of the lot, or where there is no rear lot line, the junction point of the side lot lines, and the nearest wall of the nearest main building or structure on the lot;
- (e) "Rear Yard Depth" shall mean the shortest horizontal dimension of a rear yard of a lot between the rear lot line of the lot, or where there is no rear lot line, the junction point of the side lot lines, and the nearest wall of the nearest main building or structure on the lot;
- (f) "Side Yard" shall mean a yard of a lot extending from the front yard to the rear yard, and from the side lot line to the nearest wall of the nearest main building or structure on the lot;
- (g) "Side Yard Width" shall mean the shortest horizontal dimension of a side yard of a lot between the side lot line and the nearest wall of the nearest main building or structure on the lot;
- (8) "Veterinary Clinic" shall mean a building or part of a building in which medical and surgical services are performed or consultation is given for domestic pets, may include accessory sales of associated products, accessory services such as grooming, emergency overnight accommodation, but shall not include long-term boarding on the premises.

5. PROVISIONS

(1) Uses Permitted ("R3-MU-1" Zone)

No person shall, within the lands zoned "R3-MU-1" on Schedule I attached to this By-law, use any lot or erect, alter or use any building or structure for any purpose except the following:

- (i) dwelling unit
- (ii) business office
- (iii) professional office
- (iv) veterinary clinic.

(2) Zone Requirements ("R3-MU-1" Zone)

No person shall within the lands designated "R3-MU-1" on Schedule I attached hereto use any lot or erect, alter or use any building except in accordance with the following provisions:

(a) REQUIREMENTS

- (i) Any permitted use shall be subject to the requirements of Section 9.2 of Zoning By-law 3036, as amended;
- (ii) Despite (i) above, Section 9.2.4, 9.2.5 and 9.2.6 inclusive shall not apply to the lands zoned "R3-MU-1" on Schedule I attached hereto;
- (iii) Building Height: maximum 6.0 metres;

(b) PARKING REQUIREMENTS

- (i) There shall be provided and maintained on the lands zoned "R3-MU-1" on Schedule I attached hereto, a minimum of 12 parking spaces;
- (ii) Despite clause (i) above, if the lands designated "R3-MU-1" on Schedule I attached hereto are used for only a dwelling unit, a minimum of 2 parking spaces shall be provided;
- (iii) Clauses 5.21.2 (a), and 5.21.2 (b), of By-law 3036, as amended, shall not apply to the lands designated "R3-MU-1" on Schedule I attached hereto;
- (iv) Despite Clauses 5.21.2 (g) and 5.21.2 (k) of By-law 3036, as amended, all entrance and exits to parking areas and all parking areas shall be surfaced with brick, asphalt, or concrete, or any combination thereof;
- (v) Despite Clause 2.2.1 of By-law 3036, as amended, the minimum perpendicular width of an aisle to a parking stall shall be 6.0 metres for two way traffic;

(c) SPECIAL REGULATIONS

- (i) The maximum combined gross leasable floor area for all uses on the lands zoned "R3-MU-1" on Schedule I attached to this By-law shall be 300 square metres;
- (ii) Section 5.32 of By-law 3036, as amended, shall not apply to the lands zoned "R3-MU-1" on Schedule I attached to this By-law;
- (iii) Section 5.22 of By-law 3036, as amended, shall not apply to the lands zoned "R3-MU-1" on Schedule I attached to this By-law;

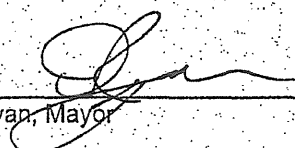
6. BY-LAW 3036

By-law 3036, as amended, is hereby further amended only to the extent necessary to give effect to the provisions of this By-law as it applies to the area set out in Schedule I attached hereto. Definitions and subject matters not specifically dealt with in this By-law shall be governed by relevant provisions of By-law 3036, as amended.


7. EFFECTIVE DATE

This By-law shall take effect from the day of passing hereof subject to the approval of the Ontario Municipal Board, if required.

BY-LAW read a first, second, and third time and finally passed this 15th day of September, 2008.



David Ryan, Mayor

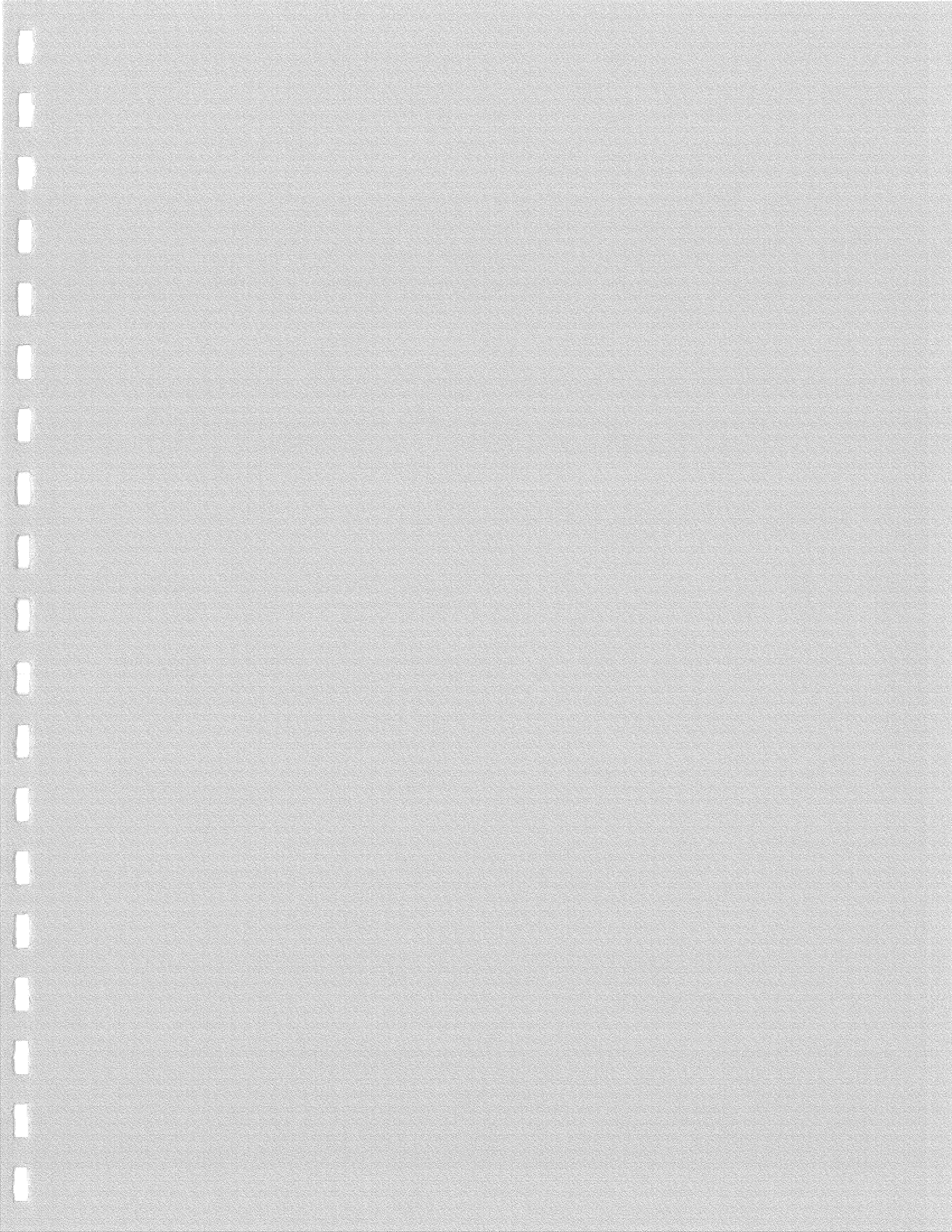


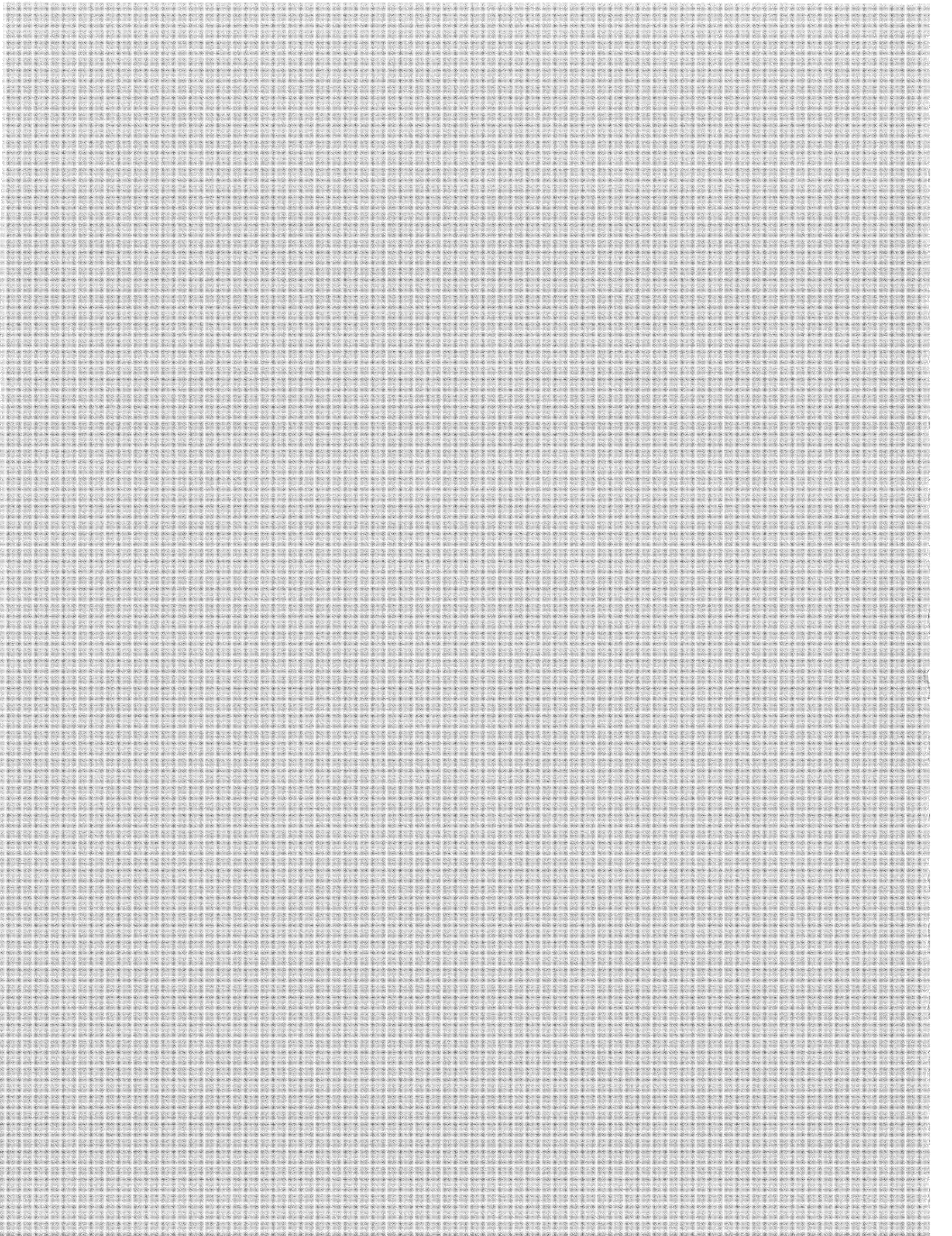
Debi A. Wilcox, City Clerk



SCHEDULE I TO BY-LAW 6887/08
PASSED THIS 15th
DAY OF SEPT. 2008







THE CORPORATION OF THE TOWN OF PICKERING

BY-LAW NUMBER 4362/93

Being a By-law to amend Restricted Area (Zoning) By-law 3036, as amended, to implement the Official Plan of the Town of Pickering District Planning Area, Region of Durham in Lots 28 to 32, Plan 492, in the Town of Pickering. (A 3/93)

WHEREAS the Council of the Corporation of the Town of Pickering deems it desirable to permit the development of semi-detached and townhouse dwelling units to occur on the subject lands being Lots 28 to 32, Plan 492, in the Town of Pickering;

AND WHEREAS an amendment to By-law 3036, as amended, is therefore deemed necessary;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF PICKERING HEREBY ENACTS AS FOLLOWS:

1. SCHEDULE I

Schedule I attached hereto with notations and references shown thereon is hereby declared to be part of this By-law.

2. AREA RESTRICTED

The provisions of this By-law shall apply to those lands in Lots 28 to 32, Plan 492, in the Town of Pickering designated "RM1-4" on Schedule I attached hereto.

3. GENERAL PROVISIONS

No building, land or part thereof shall hereafter be used, occupied, erected, moved or structurally altered except in conformity with the provisions of this By-law.

4. DEFINITIONS

In this By-law,

- (1) (a) "Dwelling" shall mean a building or part of a building containing one or more dwelling units, but does not include a mobile home or trailer;
- (b) "Dwelling Unit" shall mean one or more habitable rooms occupied or capable of being occupied as a single, independent and separate housekeeping unit containing a separate kitchen and sanitary facilities;
- (c) "Multiple Dwelling - Horizontal" shall mean a building containing three or more dwelling units attached horizontally, not vertically, by an above grade wall or walls;
- (d) "Dwelling, Semi-detached or Semi-detached Dwelling" shall mean one of a pair of single dwellings, such dwellings being attached together horizontally in whole or in part above grade, below grade, or both above and below grade;
- (2) (a) "Floor Area - Residential" shall mean the area of the floor surface contained within the outside walls of a storey or part of a storey;
- (b) "Gross Floor Area - Residential" shall mean the aggregate of the floor areas of all storeys of a building or structure, or part thereof as the case may be, other than a private garage, an attic or a cellar;

- (3) "Landscaped Open Space" shall mean space on a lot which is open and unoccupied and is suitable for growing grass, flowers, bushes, shrubs or other landscaping plants and includes a waterway, walk, patio or similar space but does not include any portion of a parking aisle, parking space, ramp or driveway;
- (4) (a) "Lot" shall mean an area of land fronting on a street which is used or intended to be used as the site of a building, or a group of buildings, as the case may be, together with any accessory buildings or structures, or a public park or open space area, regardless of whether or not such lot constitutes the whole of a lot or block on a registered plan of subdivision;
- (b) "Lot Coverage" shall mean the percentage of lot area covered by all buildings on the lot;
- (5) "Private Garage" shall mean an enclosed or partially enclosed structure for the storage of one or more vehicles, in which structure no business or service is conducted for profit or otherwise;
- (6) "Yard" shall mean an area of land which is appurtenant to and located on the same lot as a building or structure and is open, uncovered and unoccupied above ground except for such accessory buildings, structures, or other uses as are specifically permitted thereon.

5. PROVISIONS

- (1) (a) Uses Permitted ("RM1-4" Zone)

No person shall within the lands designated "RM1-4" on Schedule I attached hereto use any lot or erect, alter or use any building or structure for any purpose except the following:

- A multiple dwelling-horizontal residential use
- B semi-detached dwelling residential use

- (b) Zone Requirements ("RM1-4" Zone)

No person shall within the lands designated "RM1-4" on Schedule I attached hereto use any lot or erect, alter or use any building except in accordance with the following provisions:

- (i) BUILDING SETBACKS (minimum): as illustrated on Schedule I
- (ii) BUILDING HEIGHT (maximum): 12.0 metres
- (iii) DWELLING UNIT REQUIREMENTS:
 - A minimum gross floor area-residential 100 square metres
 - B no more than 19 dwelling units shall be permitted within the area designated "RM1-4" on Schedule I
- (iv) LOT COVERAGE (maximum): 40 per cent
- (v) LANDSCAPED OPEN SPACE REQUIREMENTS (minimum): 10 per cent of lot area
- (vi) PARKING REQUIREMENTS:
 - A "Parking Space" shall mean a usable and accessible area of not less than 2.6 metres in width and not less than 5.3 metres in length for the temporary parking of vehicles, but shall not include any portion of a parking aisle or driveway;

- B For each dwelling unit, there shall be provided and maintained:
 - (i) minimum one private garage attached to the dwelling unit, the vehicular entrance of which shall be located not less than 6.0 metres from the nearest traffic aisle;
 - (ii) a minimum 0.3 visitor parking spaces;
- C Sections 5.21.2 and 6.5c) of By-law 3036, as amended, shall not apply to lands designated "RM1-4" on Schedule I attached hereto;

(vii) SPECIAL REGULATIONS:

- A The horizontal distance between semi-detached dwellings or between multiple dwellings-horizontal and semi-detached dwellings shall be a minimum of 1.8 metres;
- B A minimum of 6 semi-detached dwellings shall be erected within the lands designated "RM1-4" on Schedule I attached hereto;
- C Despite Section 5(1)(b)(i), a refuse storage structure, ancillary to a multiple dwelling-horizontal use, with a maximum enclosed area of 50 square metres shall be provided and maintained within the lands designated "RM1-4" on Schedule I attached hereto;
- D Despite the definition of "Dwelling, Semi-detached or Semi-detached Dwelling" in Section 4.(1)(d), Semi-detached Dwellings erected in an "RM1-4" zone shall be attached above grade by a common wall which extends from the base of the foundation to the roof line and for a horizontal distance of not less than 75 percent of the horizontal depth of the building.

6. BY-LAW 3036

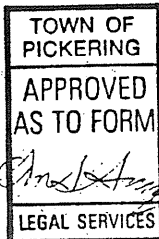
By-law 3036, as amended, is hereby further amended only to the extent necessary to give effect to the provisions of this By-law as it applies to the area set out in Schedule I attached hereto. Definitions and subject matters not specifically dealt with in this By-law shall be governed by the relevant provisions of By-law 3036, as amended.

7. EFFECTIVE DATE

This By-law shall take effect from the day of passing hereof subject to the approval of the Ontario Municipal Board, if required.

READ A FIRST AND SECOND TIME THIS 6th DAY OF December, 1993.

READ A THIRD TIME AND PASSED THIS 6th DAY OF December, 1993



Wayne E. Arthurs

 MAYOR
 WAYNE E. ARTHURS

Bruce J. Taylor

 CLERK
 BRUCE J. TAYLOR

THE CORPORATION OF THE TOWN OF PICKERING

BY-LAW NUMBER 4365/93

Being a By-law to amend Restricted Area (Zoning) By-law 3036, as amended, to implement the Official Plan of the Town of Pickering District Planning Area, Region of Durham, in Part of Lot 18, Concession 2, Town of Pickering.
(A 71/87(R); 18T-87079(R))

WHEREAS the Council of the Corporation of the Town of Pickering deems it desirable to amend By-law 3036 to permit the establishment of detached dwellings, open space, neighbourhood park, and public school uses on the subject lands, being Part of Lot 18, Concession 2, Town of Pickering;

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF PICKERING HEREBY ENACTS AS FOLLOWS:

1. SCHEDULE I

Schedule I attached hereto with notations and references shown thereon is hereby declared to be part of this By-law.

2. AREA RESTRICTED

The provisions of this By-law shall apply to those lands in Part of Lot 18, Concession 2, in the Town of Pickering, designated "R1-5", "R3-7", "R7", "S1", "S2", "ER-1", "OS-HL-SWM", "ES-DN" and "NP" on Schedule I attached hereto.

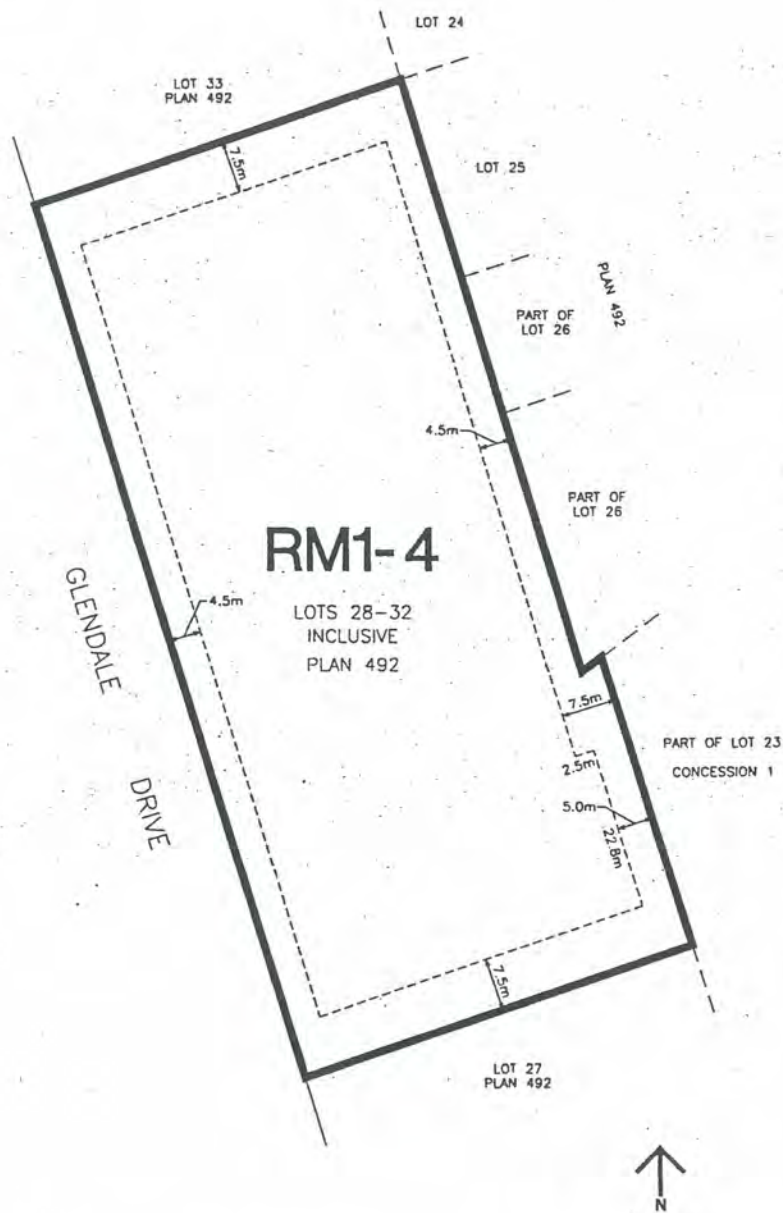
3. GENERAL PROVISIONS


No building, structure, land or part thereof shall hereafter be used, occupied, erected, moved or structurally altered except in conformity with the provisions of this By-law.

4. DEFINITIONS

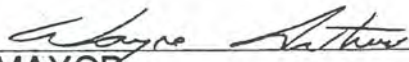
In this By-law,

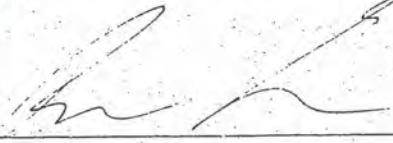
- (1) "Day Nursery" shall mean lands and premises duly licenced pursuant to the provisions of the Day Nurseries Act, or any successor thereto, and for the use as a facility for the daytime care of children;
- (2) (a) "Dwelling" shall mean a building or part of a building containing one or more dwelling units, but does not include a mobile home or trailer;
- (b) "Dwelling Unit" shall mean one or more habitable rooms occupied or capable of being occupied as a single, independent and separate housekeeping unit containing a separate kitchen and sanitary facilities;
- (c) "Dwelling, Single or Single Dwelling" shall mean a dwelling containing one dwelling unit and uses accessory thereto;
- (d) "Dwelling, Detached or Detached Dwelling" shall mean a single dwelling which is freestanding, separate and detached from other main buildings or structures;



 MINIMUM BUILDING SETBACKS

SCHEDULE I TO BY-LAW 4362/93
 PASSED THIS 6th
 DAY OF December 1993


 MAYOR


 CLERK

Feb 3
Plans resumed

5.1 PRELIMINARY SITE PLANS, PERSPECTIVES, FLOOR PLANS & BUILDING SECTIONS



BUILDING INFORMATION

CLASSIFICATION: APARTMENT/ CONDO
 ABOVE GRADE LEVELS: 13
 BELOW GRADE LEVELS: 2
 NUMBER OF (R) UNITS: 98
 PARKING SPACES: 126

SOUTH SIDE
 FACING ADJACENT
 PROPERTY

EAST SIDE
 MAIN ENTRANCE
 FACING LIVERPOOL RD

EXTERIOR VIEW 1

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

DATE:
 OCT. 31, 2019

ISSUED FOR:
 O.P. AMENDMENT

SCALE:
 1/32" = 1'-0"

A-1





EXTERIOR VIEW 2

PROPOSED 13-STORY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

DATE:
 OCT. 31, 2019

ISSUED FOR:
 O.P. AMENDMENT

SCALE:
 1/32" = 1'-0"

A-2





EXTERIOR VIEW 3

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

DATE:
 OCT. 31, 2019

ISSUED FOR:
 O.P. AMENDMENT

SCALE:
 1/32" = 1'-0"

A-3





SITE PLAN

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

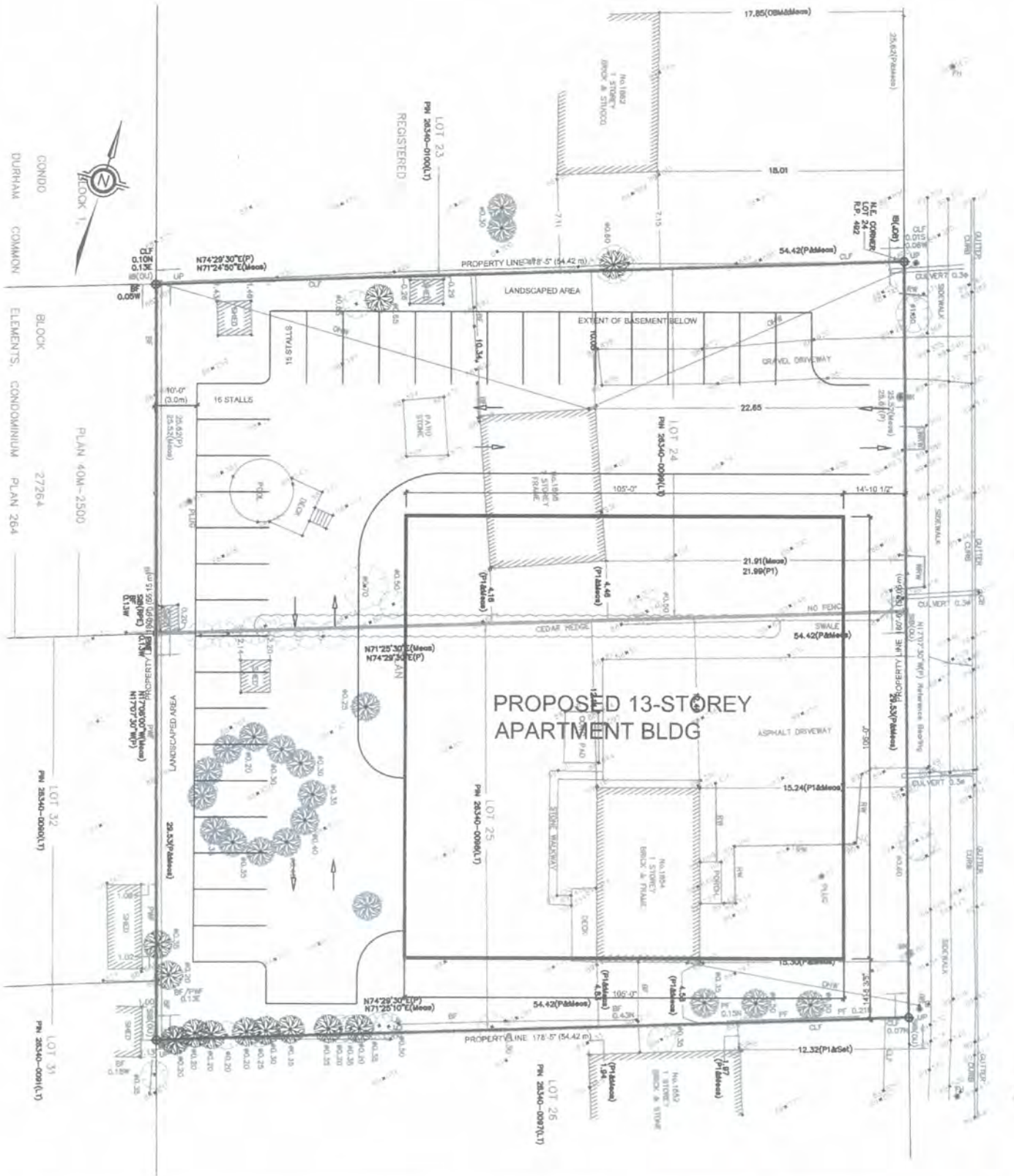
DATE:
 OCT. 31, 2019

ISSUED FOR:
 O.P. AMENDMENT

SCALE:
 1/32" = 1'-0"

A-4





LIVERPOOL ROAD
 PM 28340-0000(LT)
 (ROAD ALLOWANCE BETWEEN LOTS 22 AND 23)

EXISTING SURVEY OVERLAY

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT
 25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

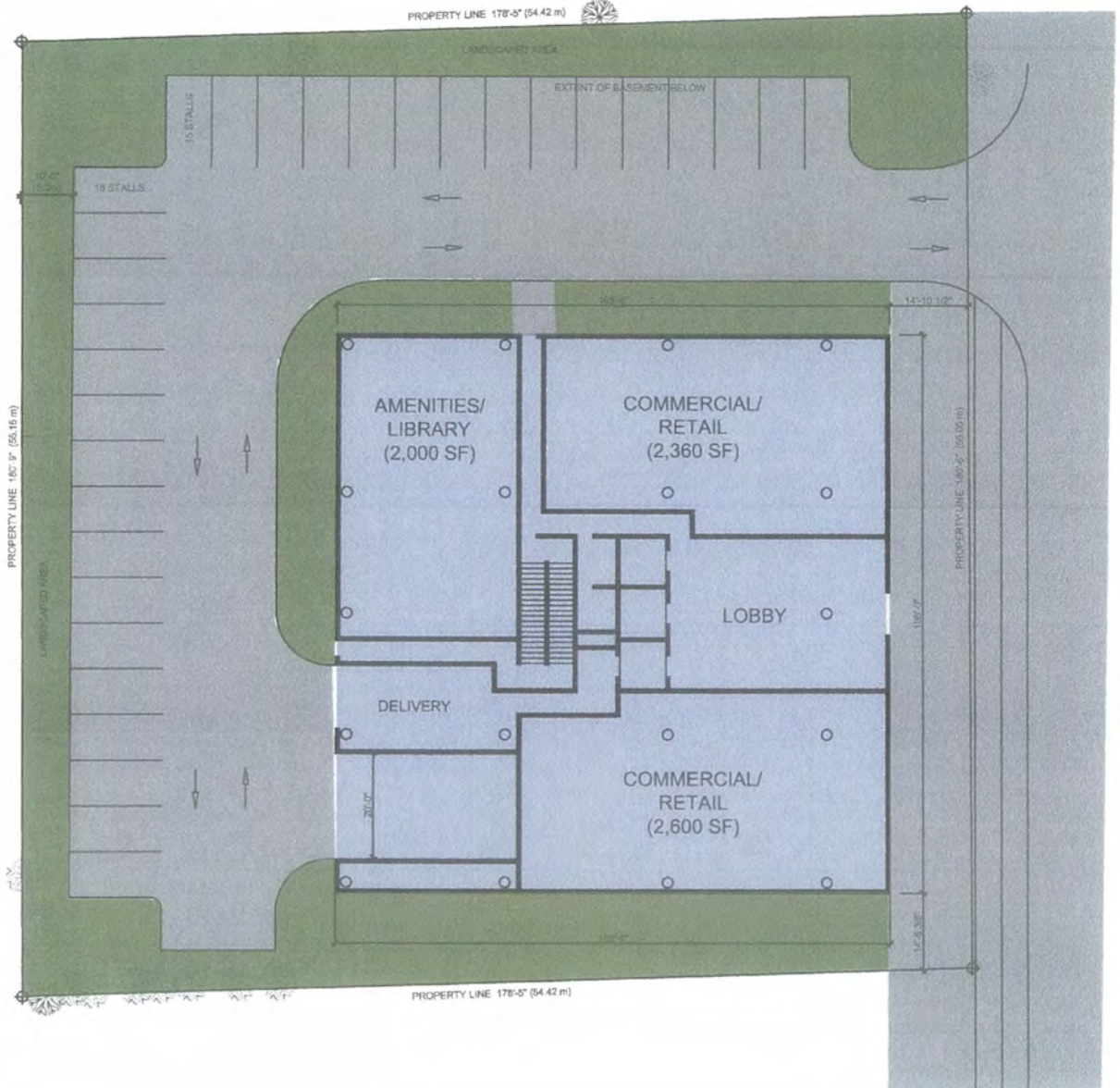
DATE:
 OCT. 31, 2019

ISSUED FOR:
 O.P. AMENDMENT

SCALE:
 1/32" = 1'-0"

A-5





GROUND FLOOR PLAN

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

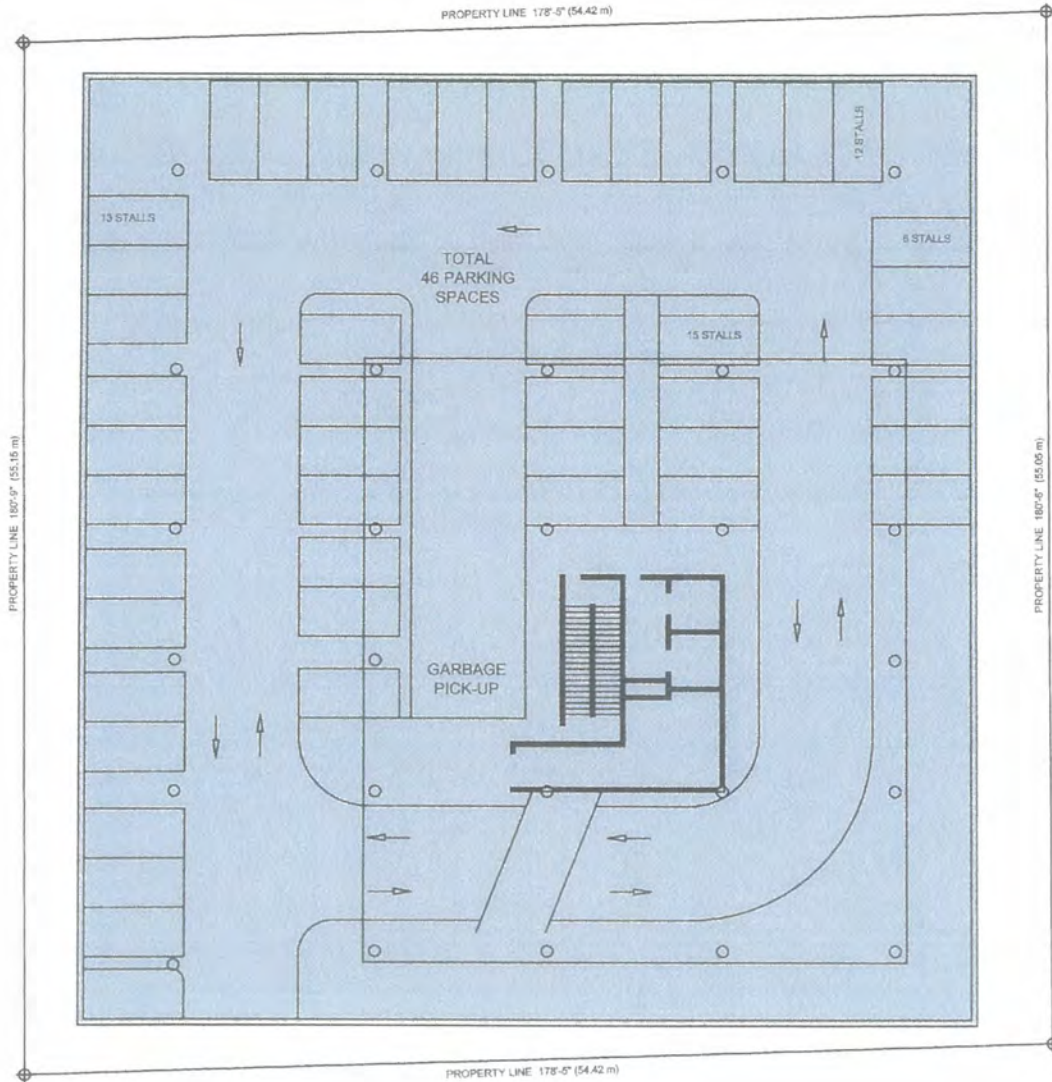
DATE:
OCT. 31, 2019

ISSUED FOR:
O.P. AMENDMENT

SCALE:
1/32" = 1'-0"

A-6





BASEMENT LEVEL 1

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

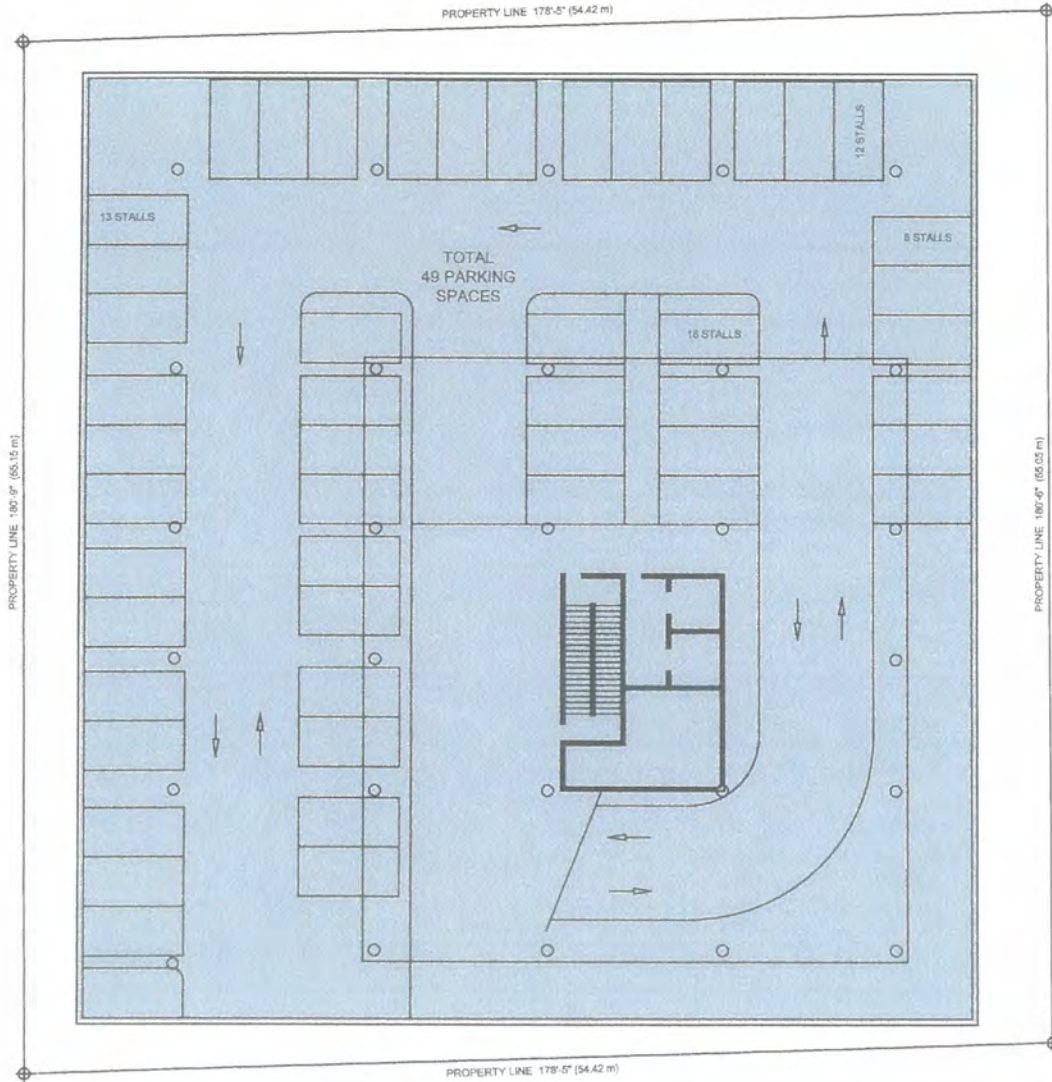
DATE:
OCT. 31, 2019

ISSUED FOR:
O.P. AMENDMENT

SCALE:
1/32" = 1'-0"

A-7





BASEMENT LEVEL 2

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

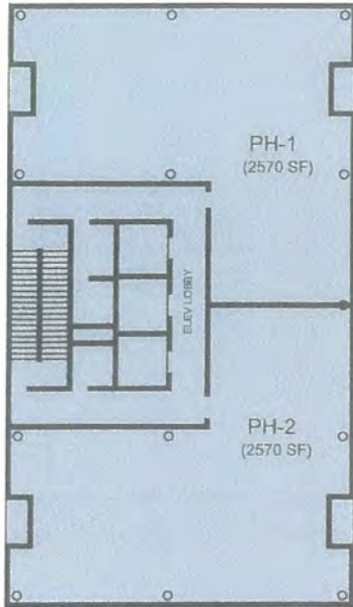
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ISSUED FOR:
O.P. AMENDMENT

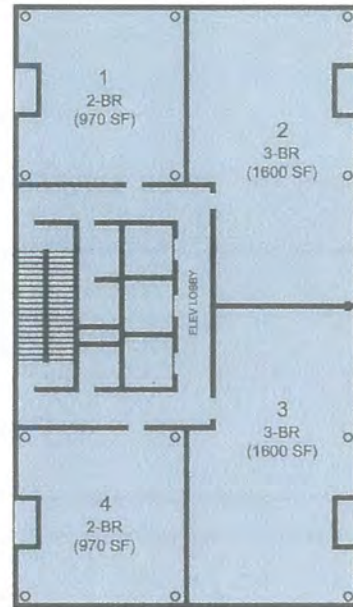
SCALE:
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A-8

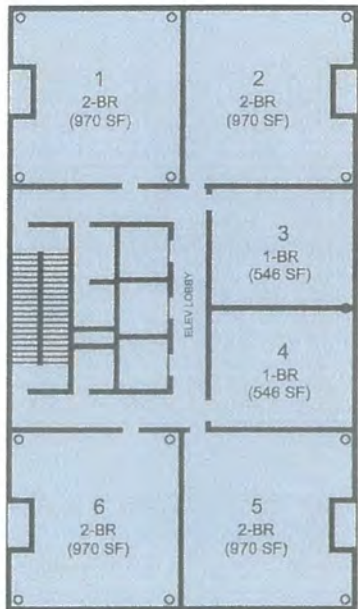




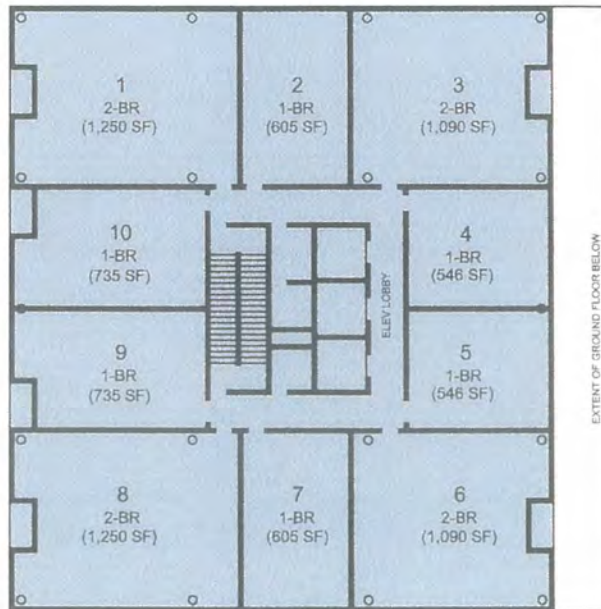
LEVEL 13 PENTHOUSE (2 UNITS)
GROSS AREA = 6,430 SF



LEVEL 12 (4 UNITS)
GROSS AREA = 6,430 SF



LEVELS 10 & 11 (6 X 2 = 12 UNITS)
GROSS AREA = 6,430 SF



LEVELS 2 TO 9 (10 X 8 = 80 UNITS)
GROSS AREA = 10,070 SF (935 SM)

FLOOR PLANS

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
416 371 7588
emilio.deleon@rogers.com

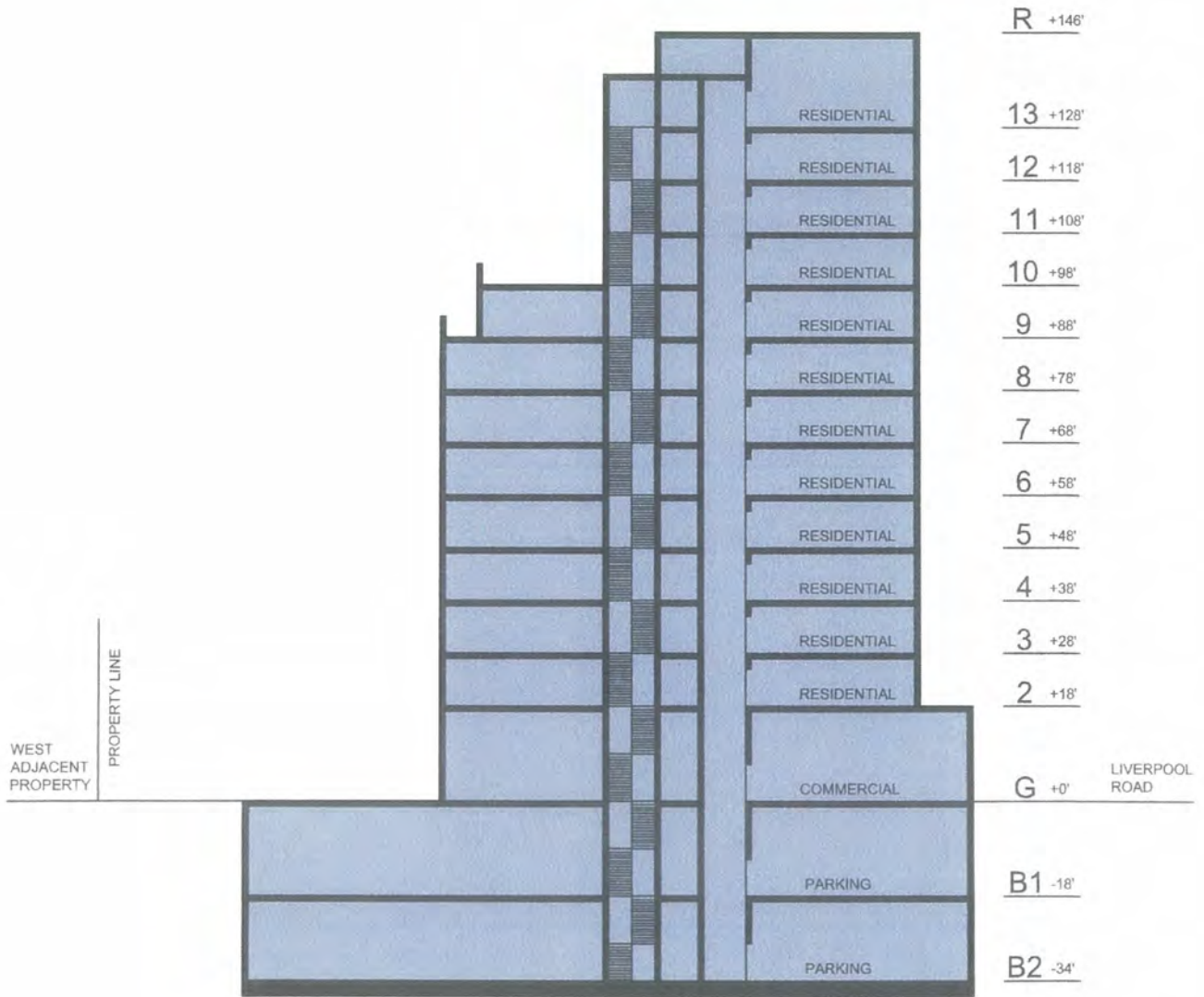
DATE:
OCT. 31, 2019

ISSUED FOR:
O.P. AMENDMENT

SCALE:
1/32" = 1'-0"

A-9





SECTION (EAST-WEST)

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT

25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

DATE:
OCT. 31, 2019

ISSUED FOR:
O.P. AMENDMENT

SCALE:
1/32" = 1'-0"

A-10





SECTION (NORTH-SOUTH)

PROPOSED 13-STOREY APARTMENT - LIVERPOOL ROAD, PICKERING

EMILIO DE LEON, ARCHITECT
 25 Bayside Gate, Whitby ON L1N 9W5
 416 371 7588
 emilio.deleon@rogers.com

DATE:
 OCT. 31, 2019

ISSUED FOR:
 O.P. AMENDMENT

SCALE:
 1/32" = 1'-0"

A-11



Feb 4

Staddon Diagram

Shadow Study: PROPOSED 13-STOREY APARTMENT BUILDING, 1854/1858 Liverpool Road, Pickering

This study includes a series of images indicating the projected extent of shadows around the vicinity of the proposed development at 1854/ 1858 Liverpool Road in Pickering. Winter and Summer Solstices were used as reference dates to demonstrate the two extreme sun paths. The software used is Sketchup, foreground taken from Google Maps. Adjacent neighborhoods considered are:

- The retail plaza (south-east);
- 1331 Glenanna Road townhouses (north-east);
- 1299 Glenanna Road townhouses and adjacent north properties (north)
- Glendale Drive townhouses (north-west)
- Glendale Drive detached dwellings (west and south-west)

Image 1: Vicinity

Image 2: Dec 21 7:30 am Dawn - No shadow

Image 3: Dec 21 8:30 am Shadow at adjacent north property and at townhouses along Glendale Drive.

Image 4: Dec 21 9:30 am Shadow at adjacent north property and at townhouses along Glendale Drive. Partial shadow at 1299 Glenanna Road townhouses.

Image 5: Dec 21 10:30 am Shadow at adjacent north properties and at 1299 Glenanna Road townhouses.

Image 6: Dec 21 11:30 am Shadow at adjacent north properties and at 1299 Glenanna Road townhouses.

Image 7: Dec 21 12:30 pm Shadow at adjacent north properties and at Liverpool Road.

Image 8: Dec 21 1:30 pm Shadow over Liverpool Road and partially reaching 1331 Glenanna Road townhouses.

Image 9: Dec 21 2:30 pm Shadow over Liverpool Road and 1331 Glenanna Road townhouses.

Image 10: Dec 21 3:30 pm Shadow over Liverpool Road and 1331 Glenanna Road townhouses.

Image 11: Dec 21 4:30 pm Shadow is reduced from very minimal to none.

Image 12: Dec 21 5:30 pm Dusk - No shadow.

Image 13: Jun 21 5:30 am Dawn - No shadow.

Image 14: Jun 21 6:30 am Shadow over dwellings at south-west along both sides of Glendale Drive.

Image 15: Jun 21 7:30 am Shadow over dwellings at west along both sides of Glendale Drive.

Image 16: Jun 21 8:30 am Shadow over detached dwellings and townhouses along Glendale Drive.

Image 17: Jun 21 9:30 am Shadow at west portion of subject property and partially over townhouses along Glendale Drive.

Image 18: Jun 21 10:30 am Shadow at west portion of subject property (1854/ 1858 Liverpool Road).

Image 19: Jun 21 11:30 am Shadow partially over adjacent north property.

Image 20: Jun 21 12:30 pm Shadow partially over adjacent north property.

Image 21: Jun 21 1:30 pm Shadow partially over adjacent north property and at east portion of subject property.

Image 22: Jun 21 2:30 pm Shadow at east portion of subject property and partially over Liverpool Road.

Image 23: Jun 21 3:30 pm Shadow at east portion of subject property and Liverpool Road.

Image 24: Jun 21 4:30 pm Shadow at Liverpool Road and partially reaching Retail Plaza.

Image 25: Jun 21 5:30 pm Shadow at Liverpool Road and partially at Retail Plaza.

Image 26: Jun 21 6:30 pm Shadow at Liverpool Road and partially at Retail Plaza.

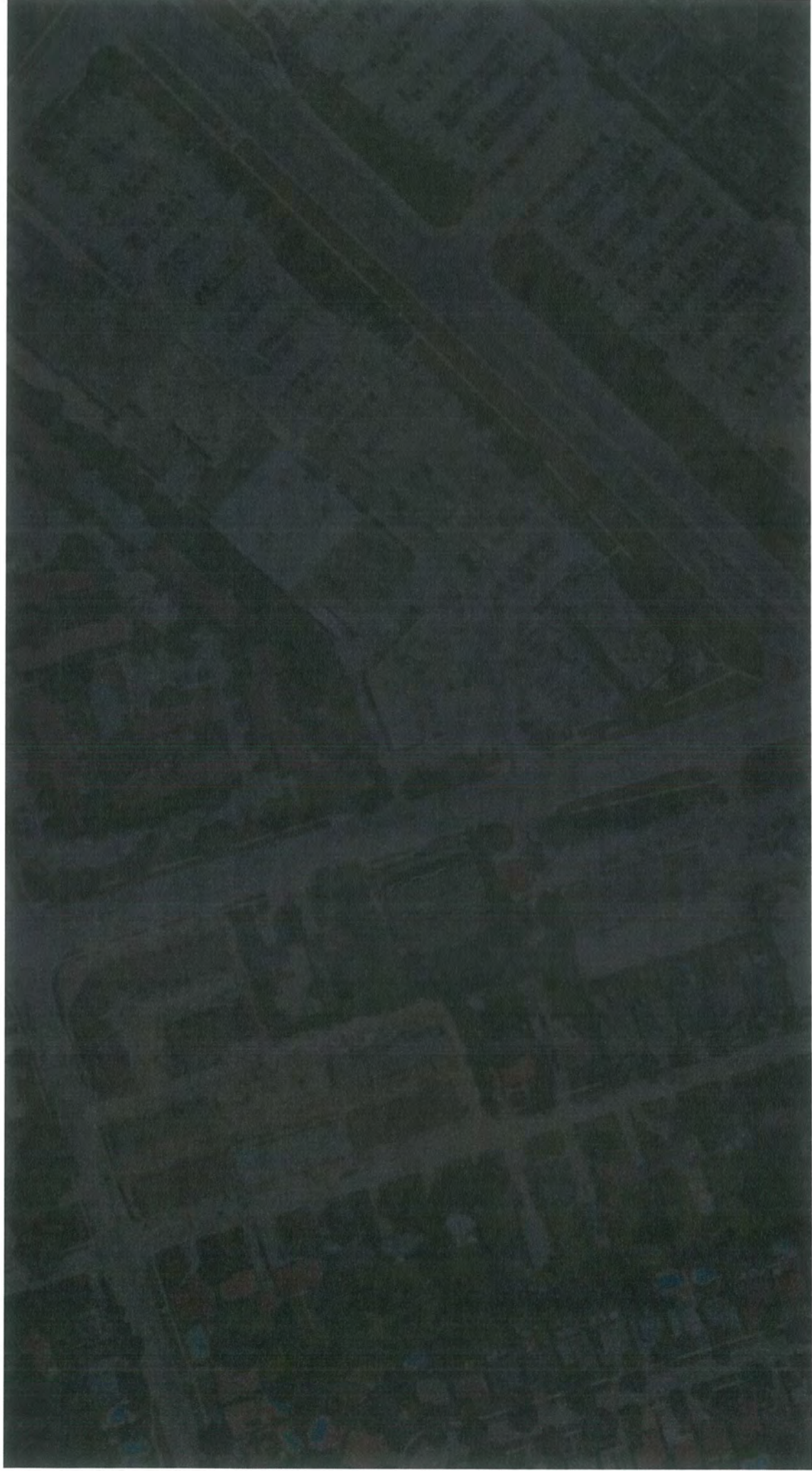
Image 27: Jun 21 7:30 pm Shadow at Liverpool Road and partially at Retail Plaza.

Image 28: Jun 21 8:30 pm Shadow is reduced from very minimal to none.

Image 29: Jun 21 9:30 pm Dusk - No shadow.



Image 1: Vicinity



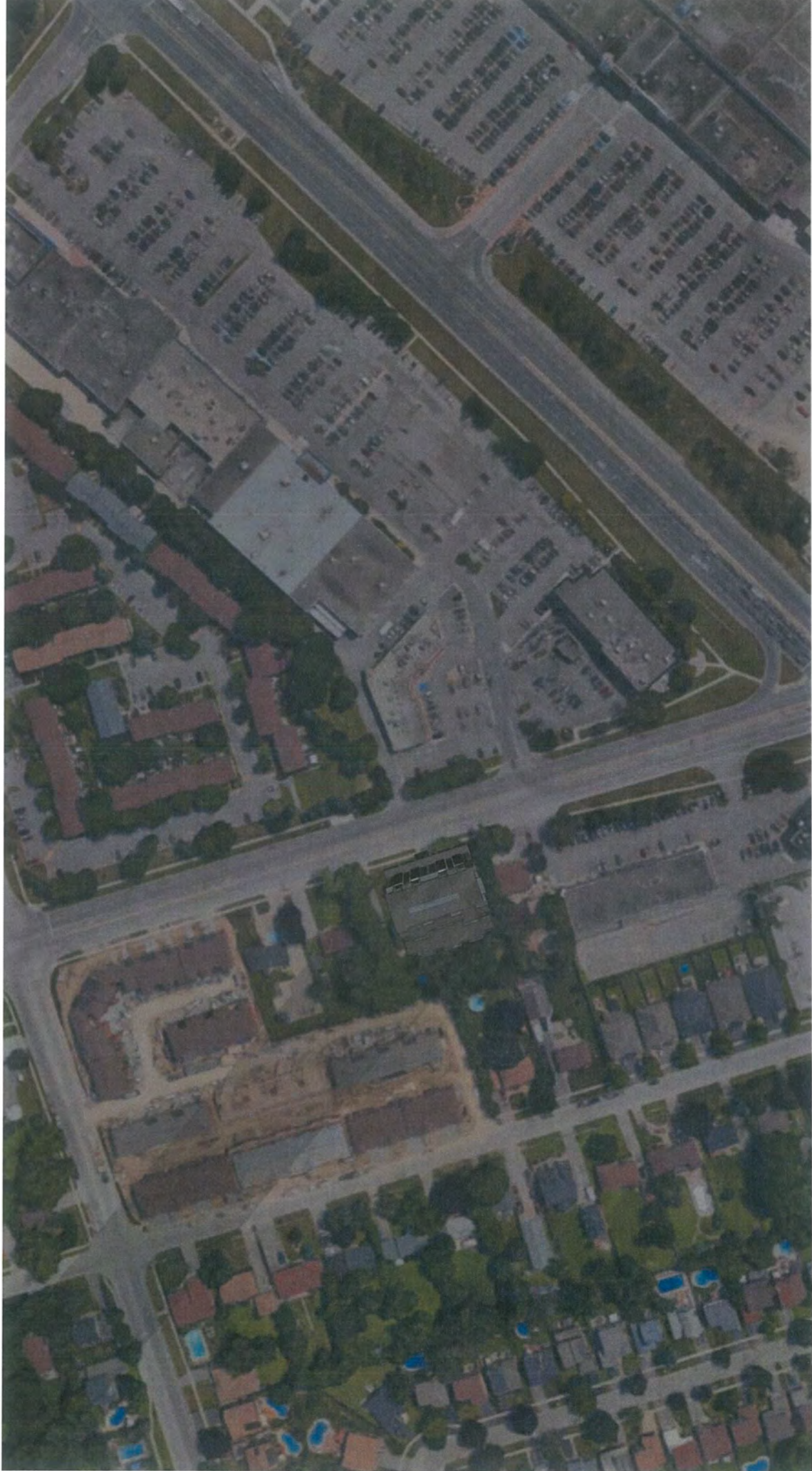


Image 3: DECEMBER 21 8:30 AM

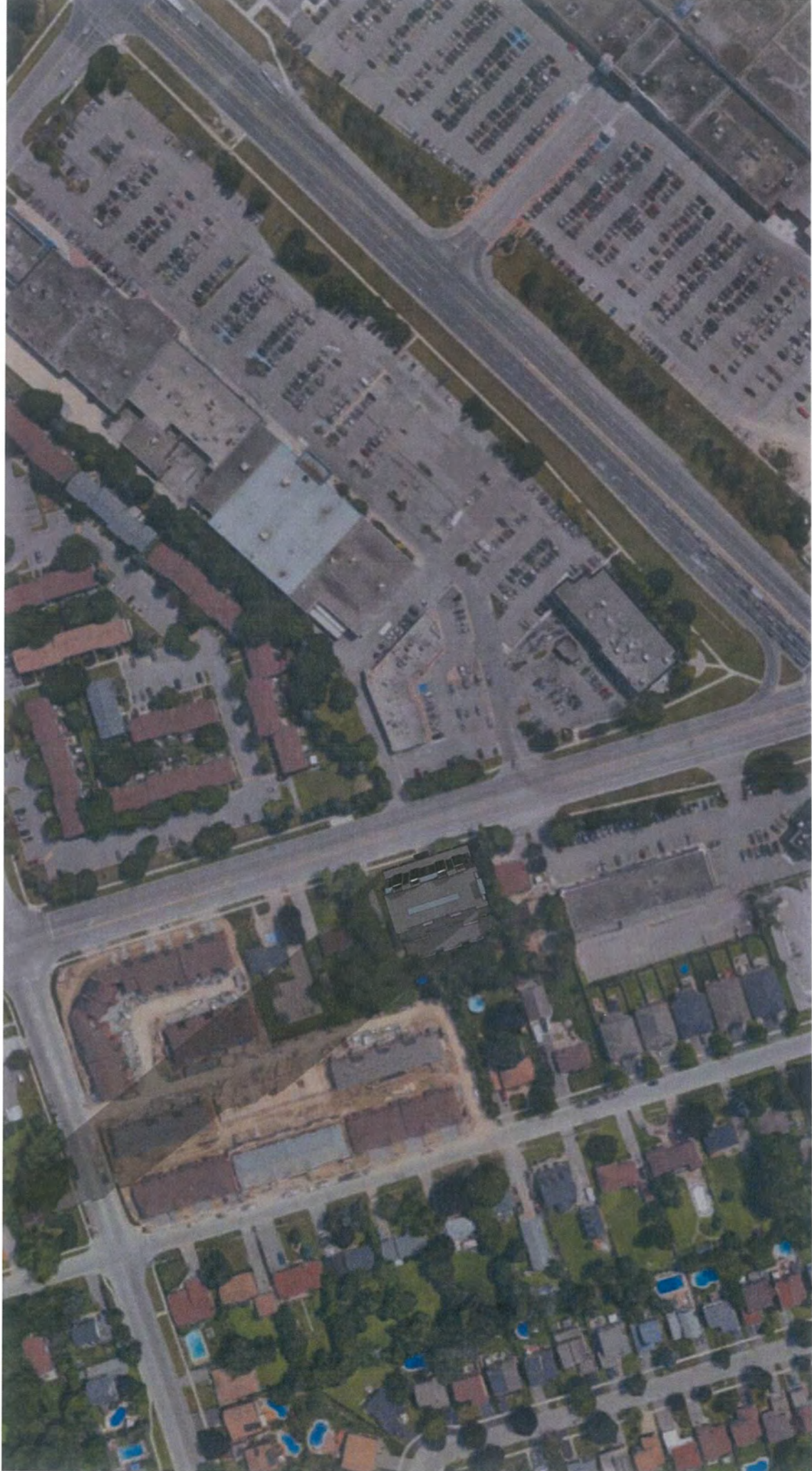


Image 4: DECEMBER 21 9:30 AM



Image 5: DECEMBER 21 10:30 AM



Image 6: DECEMBER 21 11:30 AM

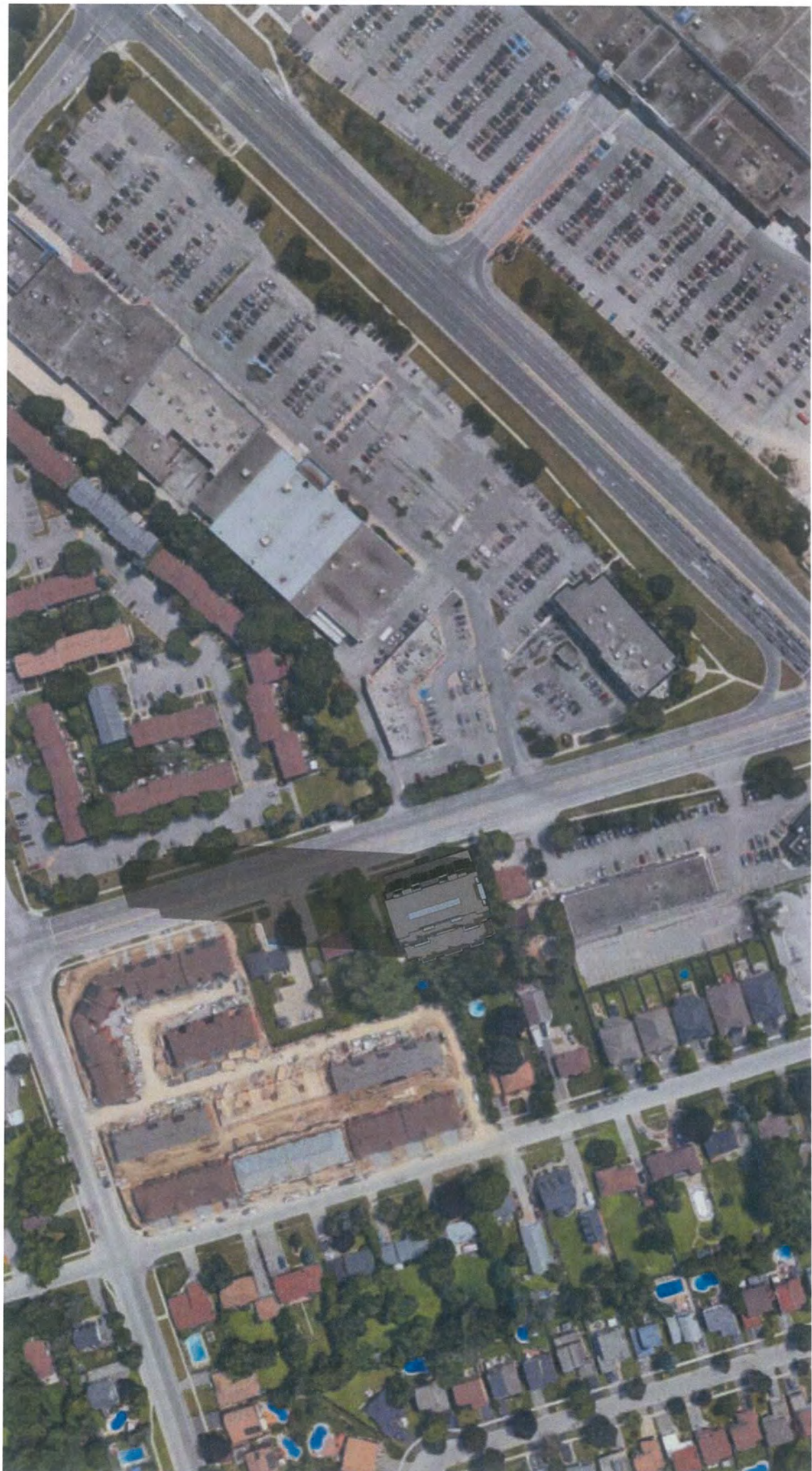


Image 7: DECEMBER 21 12:30 PM

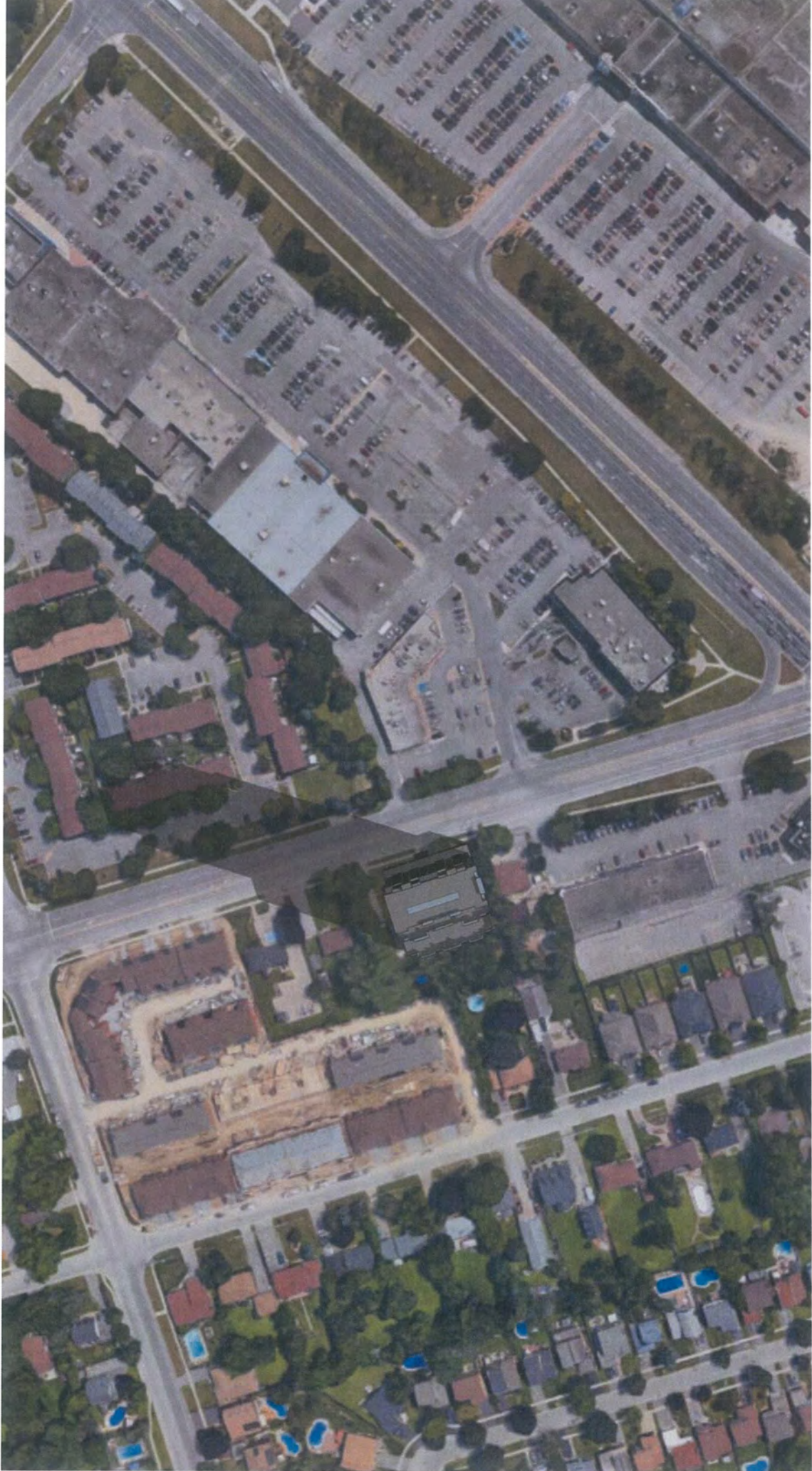


Image 8: DECEMBER 21 1:30 PM



Image 9: DECEMBER 21 2:30 PM



Image 10: DECEMBER 21 3:30 PM

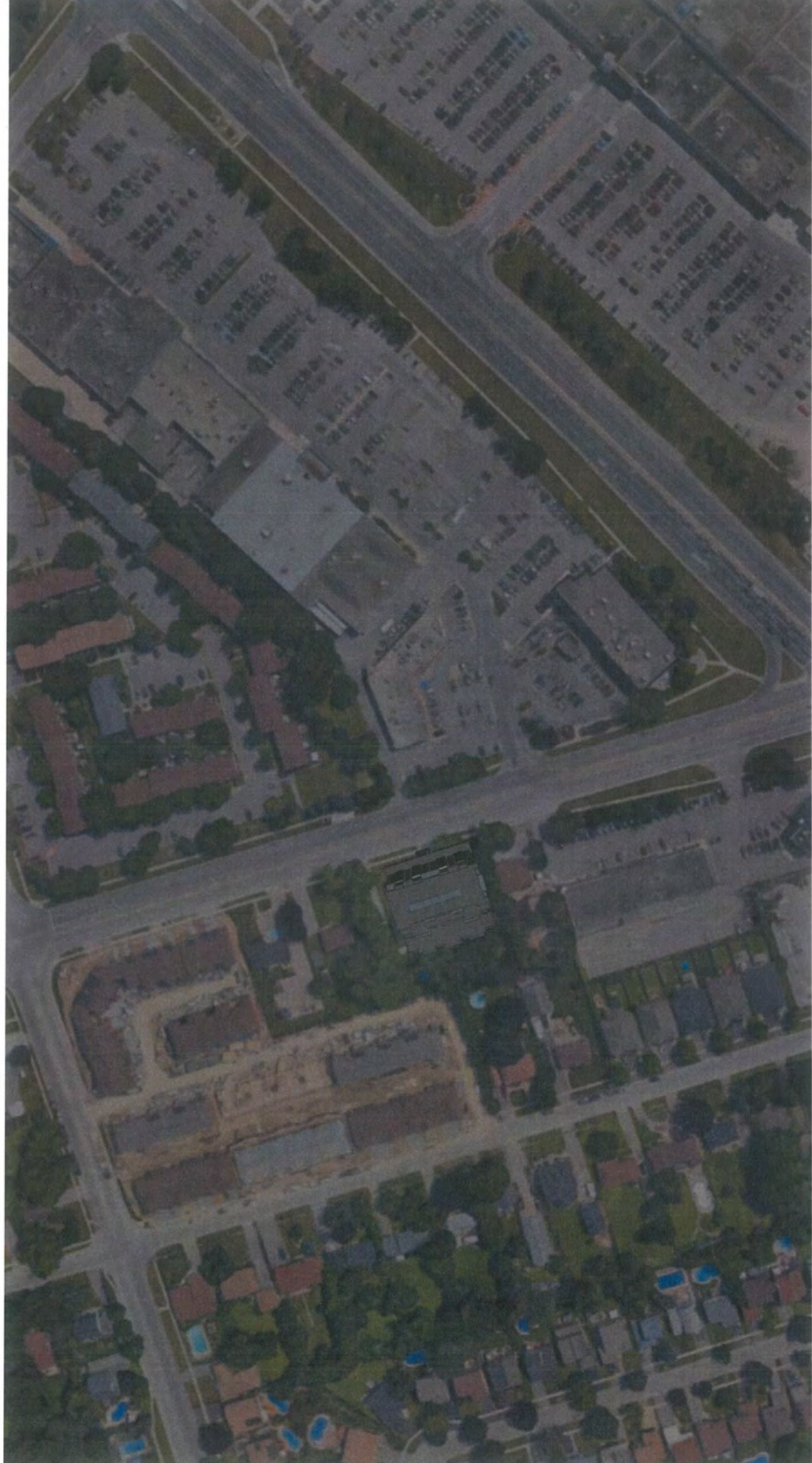


Image 11: DECEMBER 21 4:30 PM

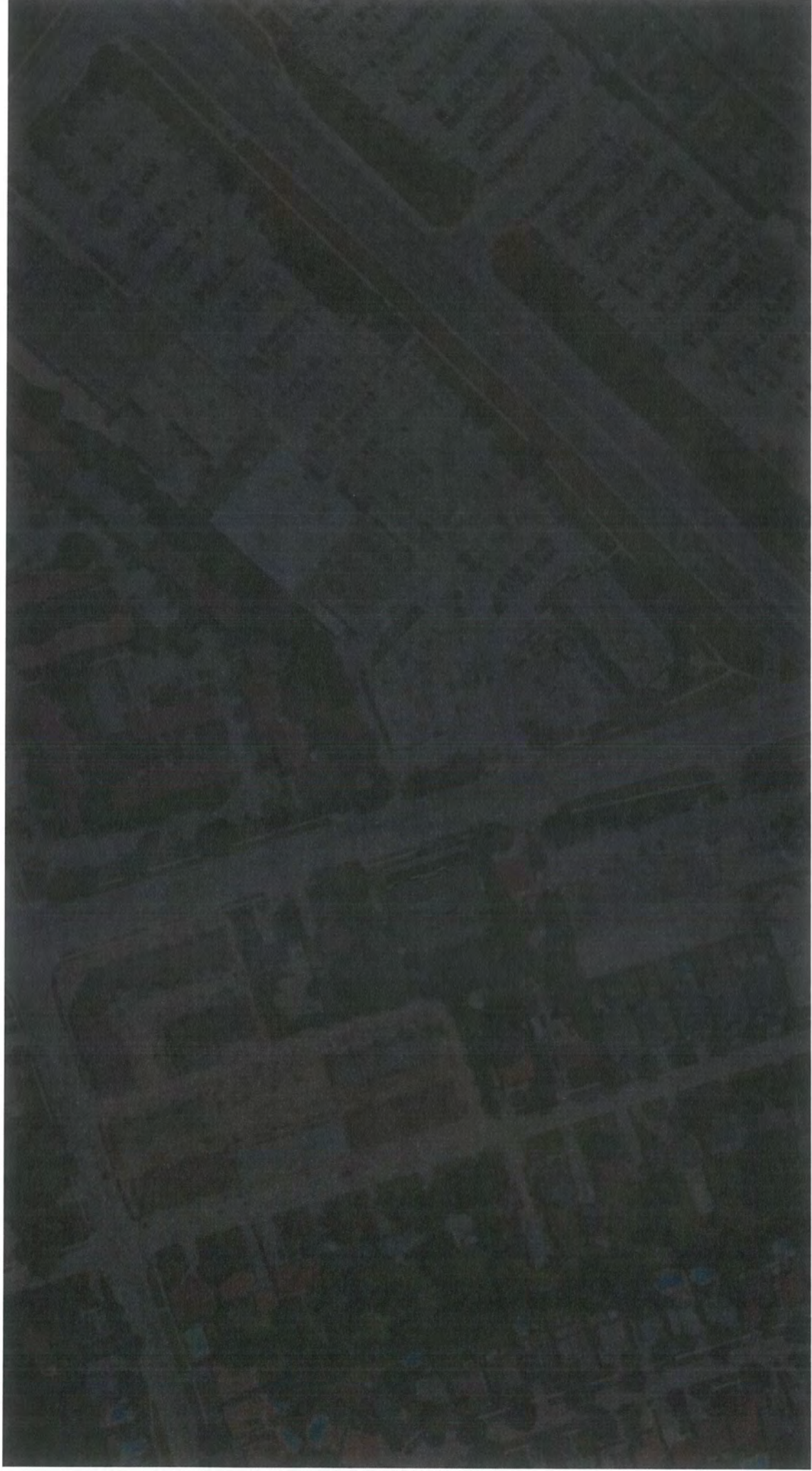
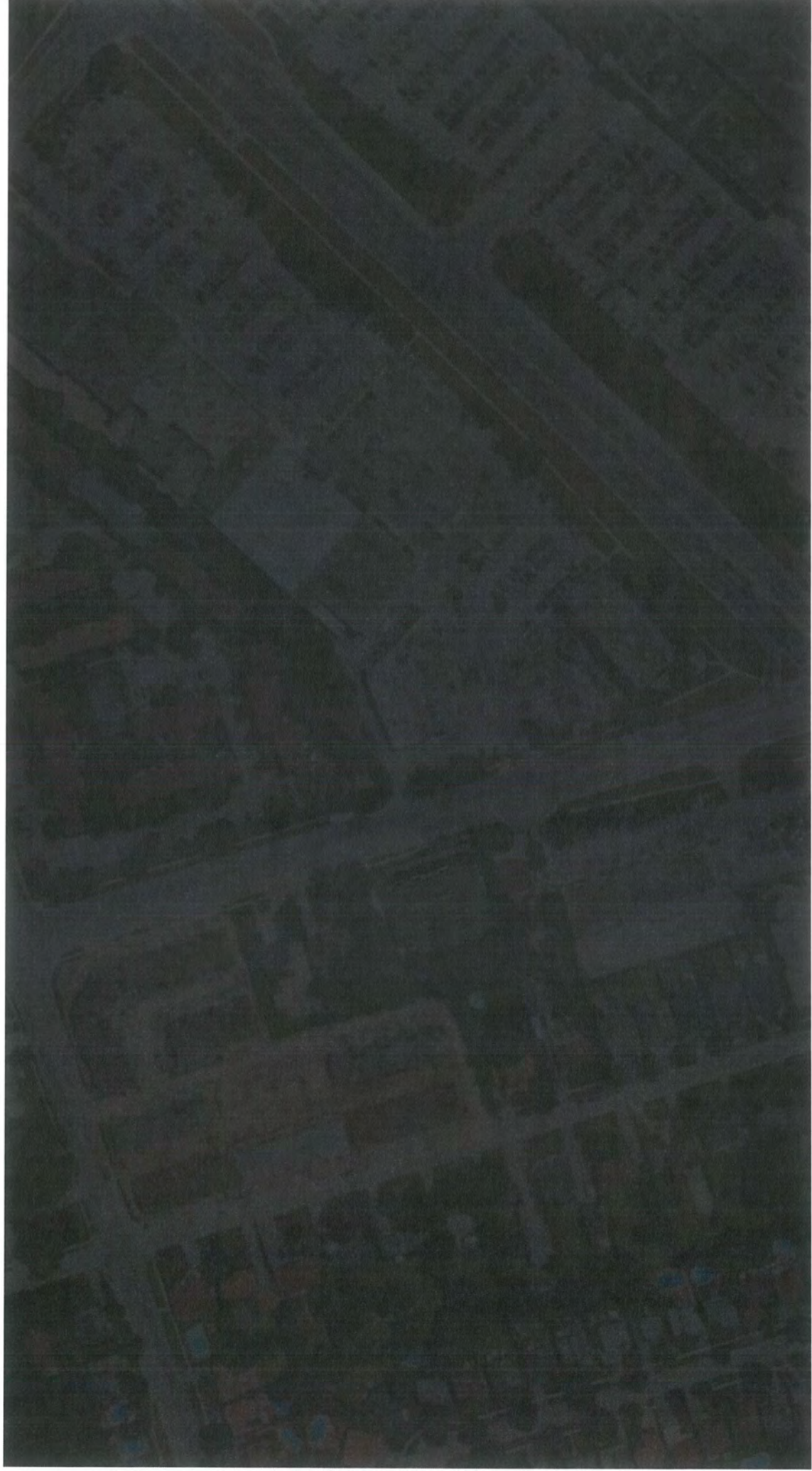


Image 12: DECEMBER 21 5:30 PM





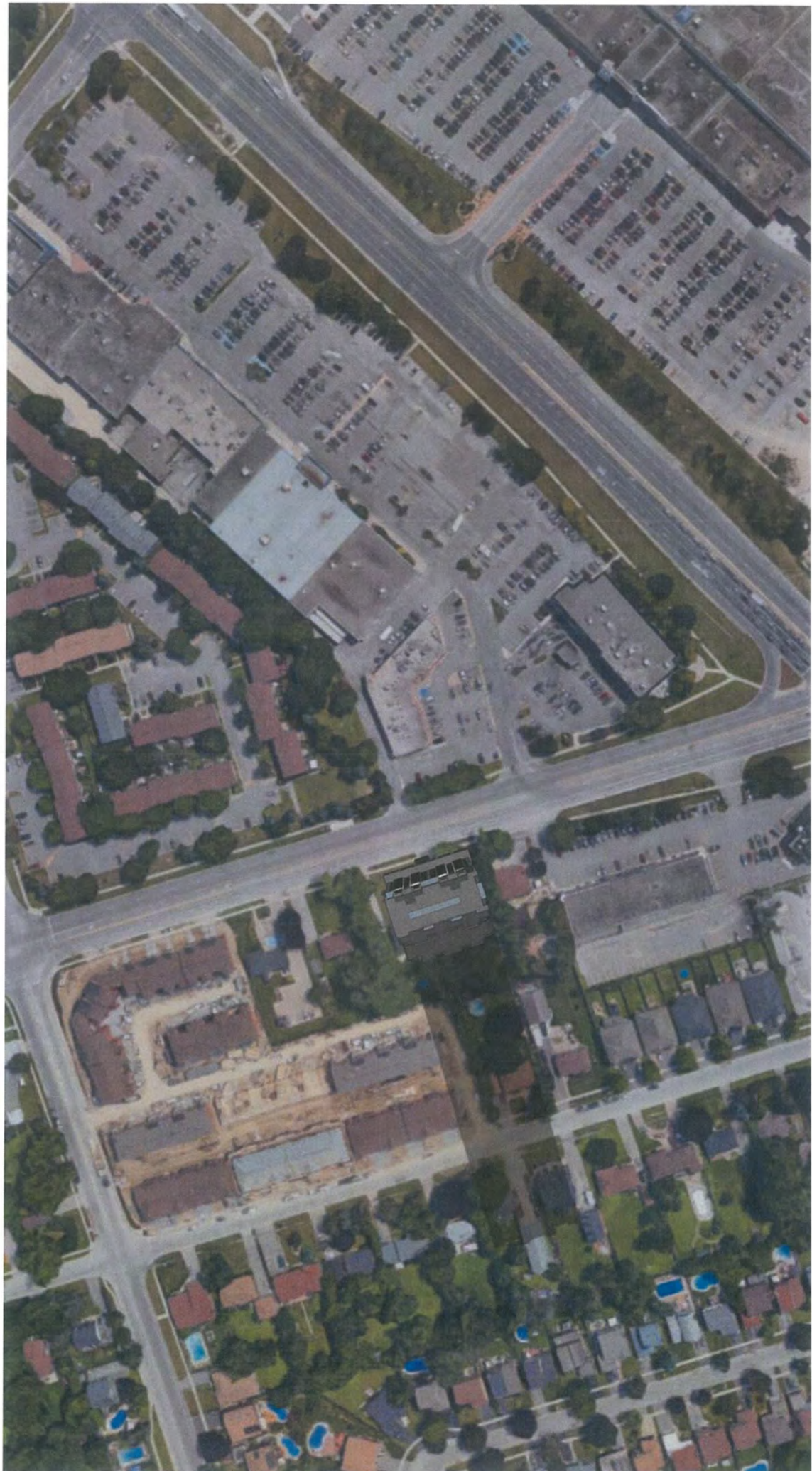


Image 15: JUNE 21 7:30 AM



Image 16: JUNE 21 8:30 AM



Image 17: JUNE 21 9:30 AM



Image 18: JUNE 21 10:30 AM

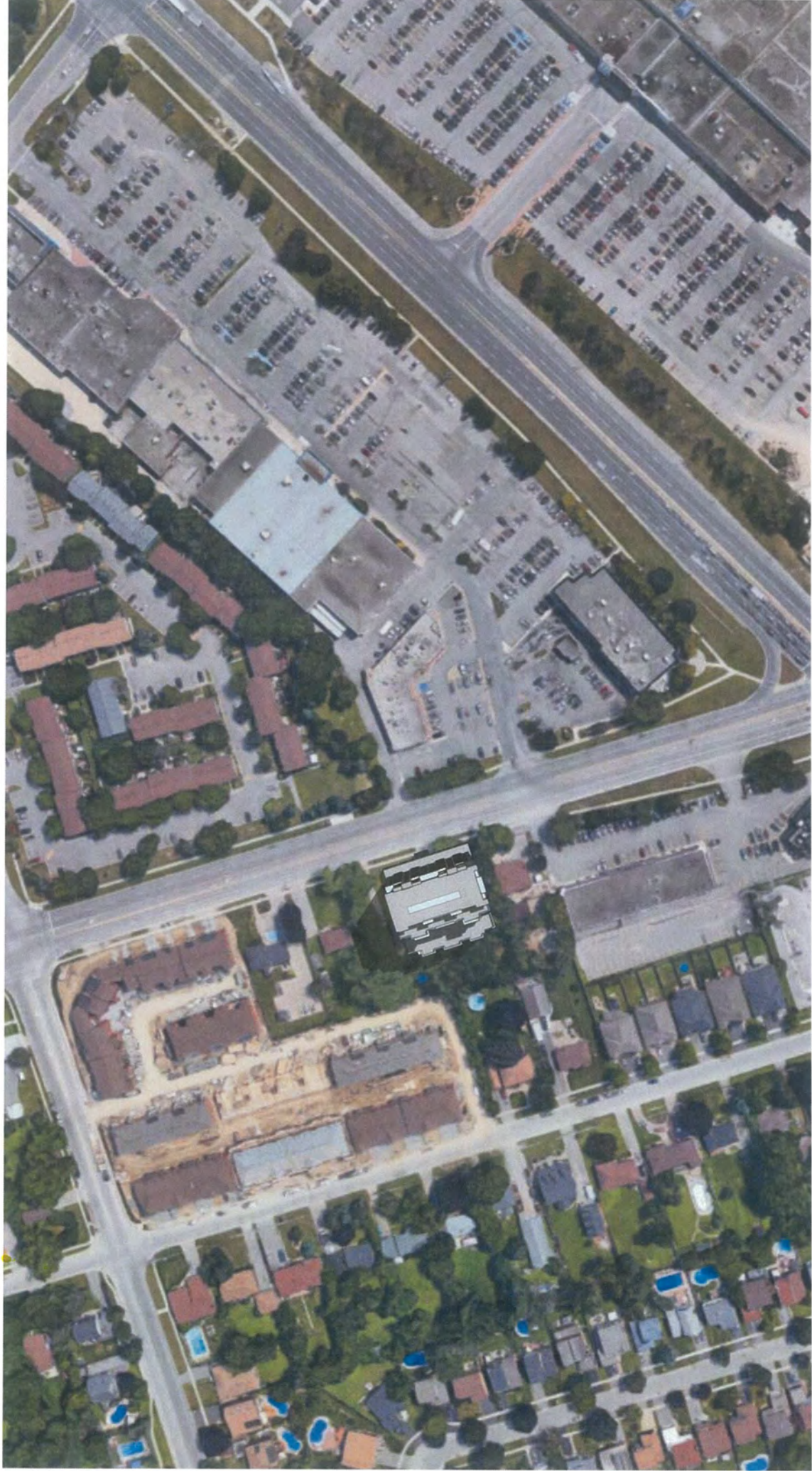


Image 19: JUNE 21 11:30 AM



Image 20: JUNE 21 12:30 PM



Image 21: JUNE 21 1:30 PM

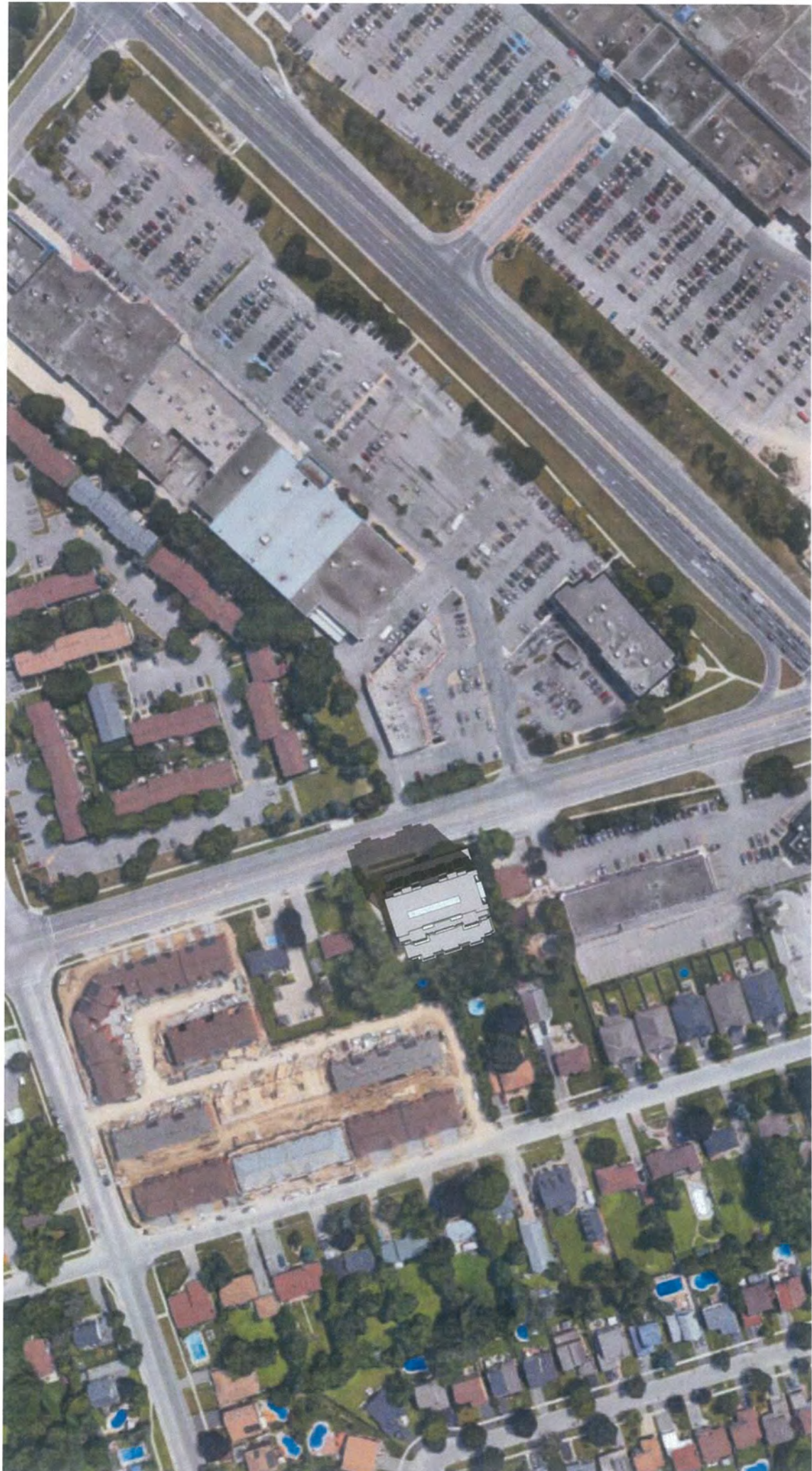




Image 23: JUNE 21 3:30 PM



Image 24: JUNE 21 4:30 PM



Image 25: JUNE 21 5:30 PM

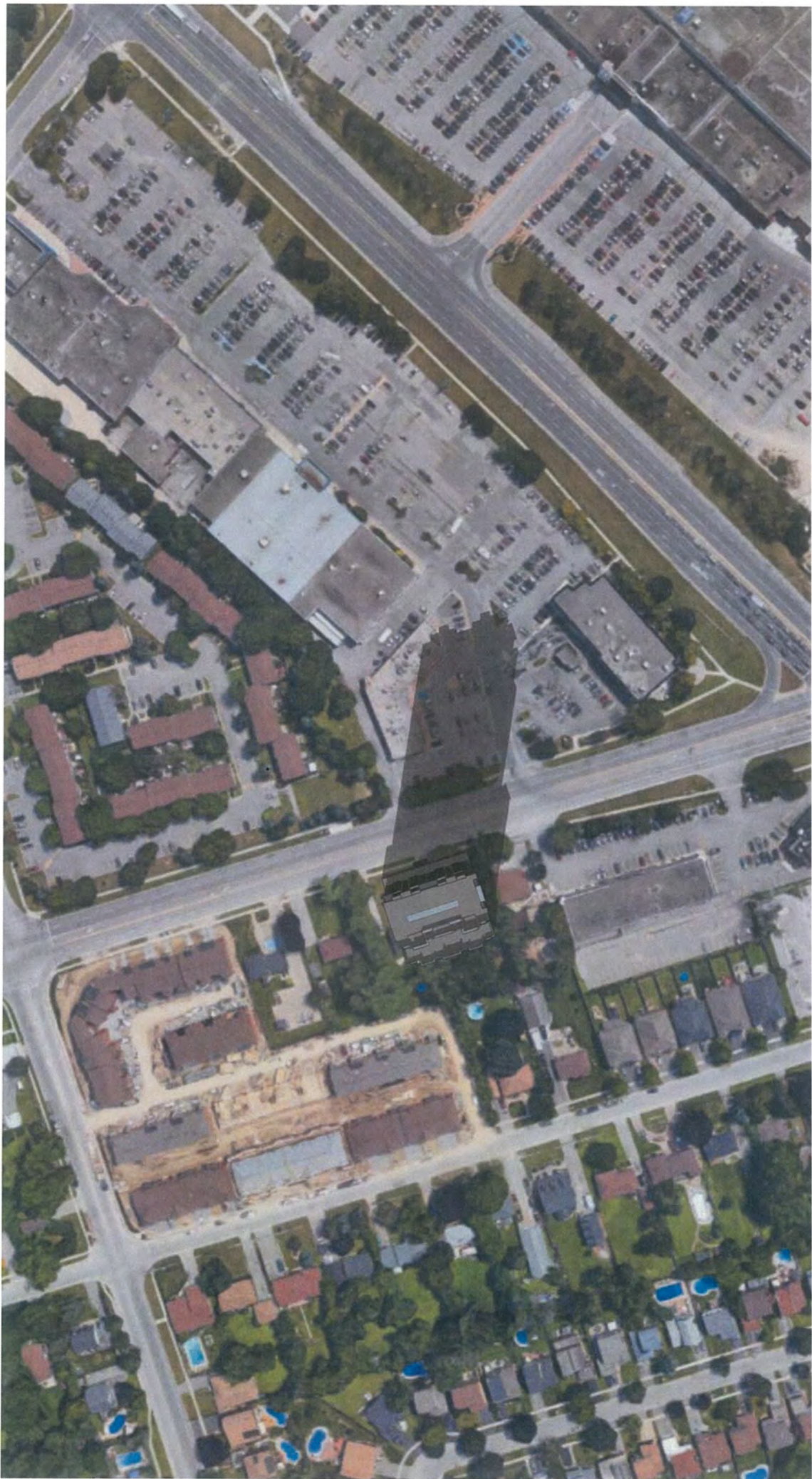


Image 26: JUNE 21 6:30 PM



Image 27: JUNE 21 7:30 PM

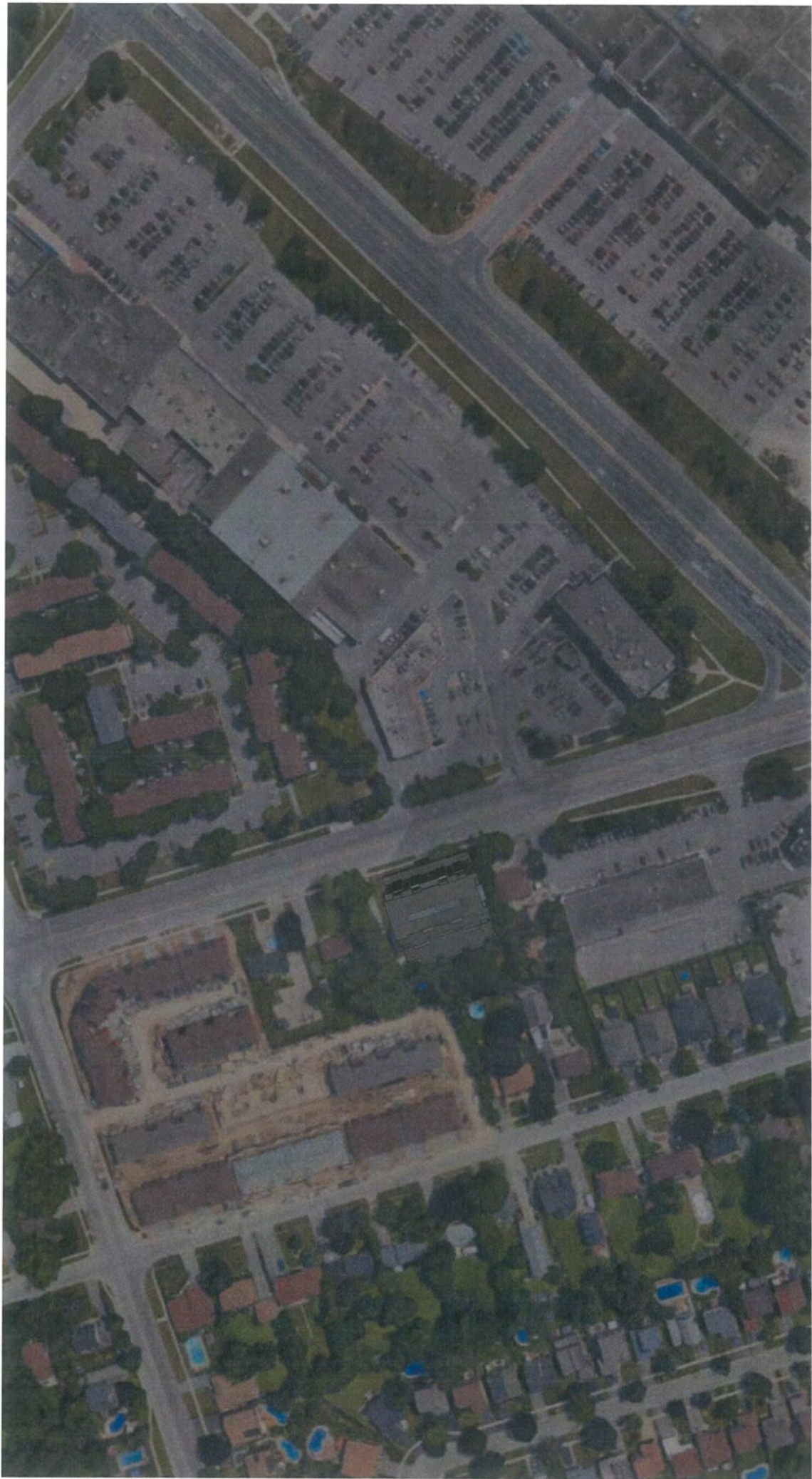


Image 28: JUNE 21 8:30 PM

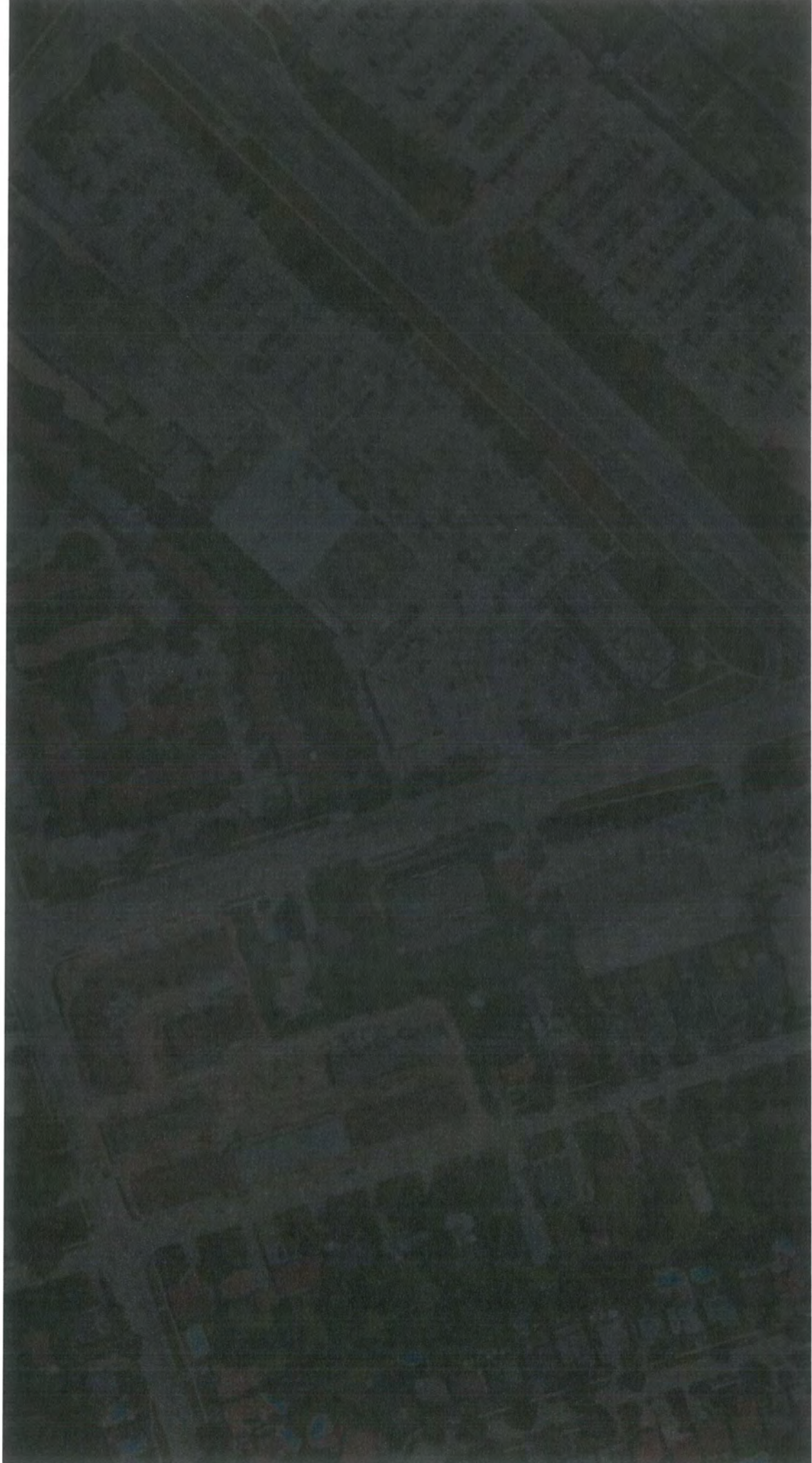


Image 29: JUNE 21 9:30 PM

tab 5

Perms

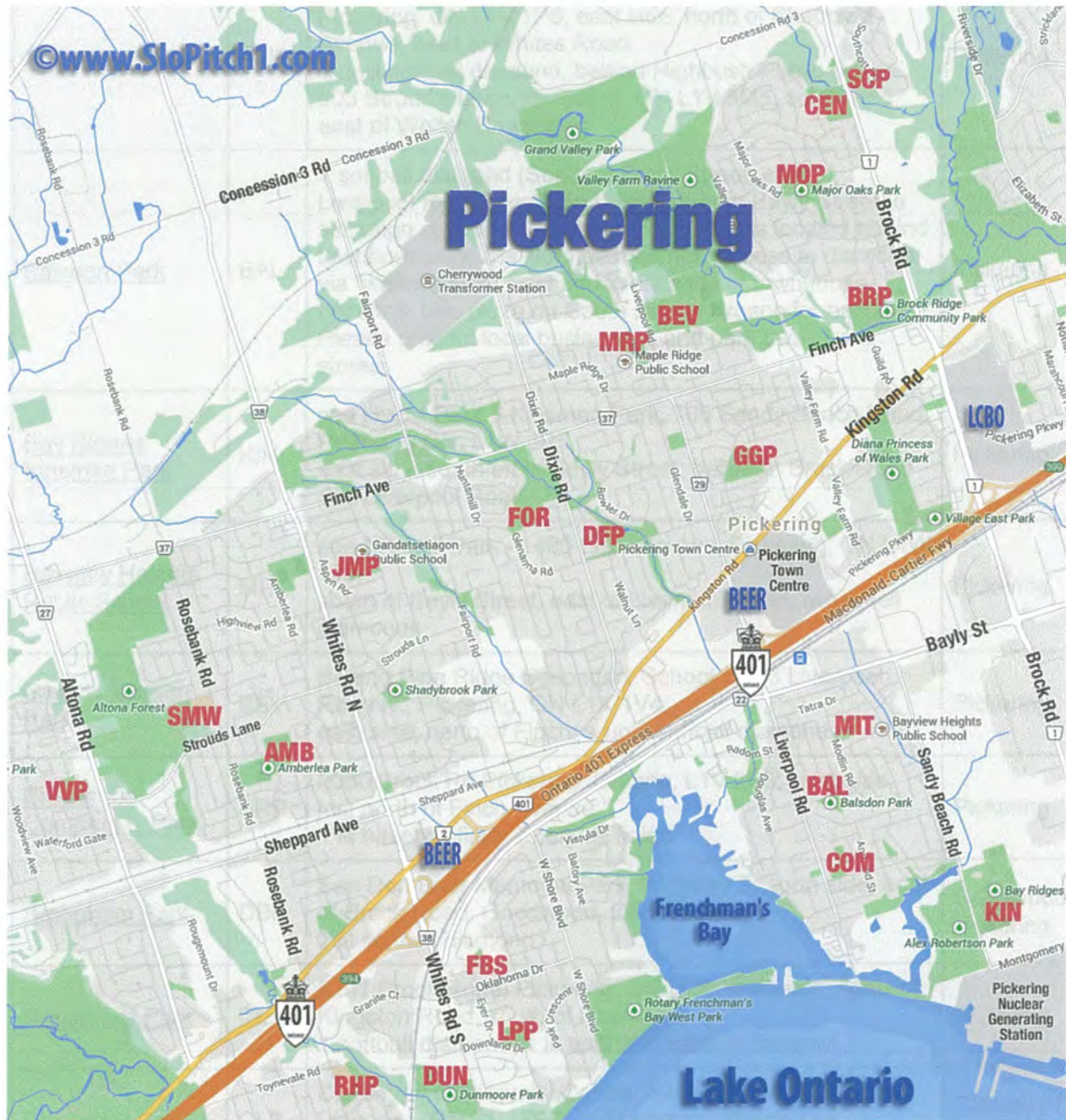
Pickering Map of Parks & Diamonds

Updated December 28, 2014

Pickering is a city located in Southern Ontario on Hwy 401, on Lake Ontario, east of Scarborough/Toronto in Durham Region.

Boundaries are Uxbridge-Pickering Road to the north; staggered border with Lakeridge Road to the east; Scarborough-Pickering Townline Road to the west; Lake Ontario to the south.

See below for a complete list of parks and directions



Pickering - List of Parks & Diamonds

Park Name	Abbr	Address/Location	City/Area
Altona Forest Public School	SMW	See S.M. Woodsmere Park, 405 Woodsmere Crescent, Pickering, ON L1V 7A3, west off Rosebank Road, west of Whites Road, between Sheppard & Finch; 1 fenced hardball diamond.	Pickering
Amberlea Park	AMB	1 lit baseball diamond located at 1794 Rosebank Road, Pickering, ON L1V 1P6, east side, north of Sheppard Avenue, west of Whites Road. 1 unlit softball diamond, behind Highbush Public School, 605 Stroud's Lane, Pickering, ON L1V 5M5, south side, east of Whites Road. map	Pickering
Balsdon Park	BAL	1 softball diamond (South of Bayly Street; east of Liverpool Road) South on Liverpool from Bayly Street to stop sign at Krosno Boulevard. Diamond is located behind townhouses on the Northeast corner. Access to diamond via "walkways" at East and West ends of townhouse complex. Use plaza on South side of Krosno for parking. Please respect local businesses and park away from stores.	Pickering
Bay Ridges Kinsmen Park	KIN	see Hydro Park & Kinsmen Park, 705 Sandy Beach Road, Pickering ON, L1W 3P5, east side, south off of Bayly Street; between Brock Road and Liverpool Road	Pickering
Bayview Heights Public School	MIT	see Mitchell Park - 1400 Garvolin Ave, Pickering, ON L1W 1J6, south of Bayly Street, east of Liverpool Road; two small diamonds.	Pickering
Beverly Morgan Park	BEV	Behind Pine Ridge Secondary School, 2155 Liverpool Road N., Pickering, ON L1X 1V4 east side, north of Finch; 1 unlit softball diamond.	Pickering
Brockridge Community Park	BRP	2030 Brock Rd Pickering, Ontario, L1V 2P8, west side, just north of Finch Avenue; 1 lit baseball field; 2 softball fields.	Pickering
Brougham Park	DBP	See Don Beer Memorial Park, Highway 7, north side, east of Brock Road, Goodwood, ON L0C 1A0; 1 lit softball diamond.	Goodwood Pickering
Centennial Park	CEN	2251 Brock Road, Pickering, ON L1X; west side, north of Kingston Road, south of Rossland; 1 softball diamond; 1 lit softball/baseball diamond.	Pickering
Claremont Park	CLP	Claremont Community Centre, 4941 Old Brock Road, Pickering, ON L1V 7E2; In Claremont, Brock	Claremont Pickering

		Central Street; 1 lit softball diamond; 1 softball diamond.	
Commerce Street Park	COM	747 Liverpool Road, Pickering, ON L1W 1R8, behind Holy Redeemer Separate School; east side, north-east corner at Commerce Street, south of Bayly Street, east of Liverpool Road. two small diamonds.	Pickering
David Farr Memorial Park	DFP	Vaughan Willard Public School, 1911 Dixie Road North, Pickering, ON L1V 1V4, north-east corner Dixie Road and Glenanna Road; south of Finch, north of Kingston Road; 1 small softball diamond.	Pickering
Don Beer Memorial Park	DBP	Highway 7, north side, east of Brock Road, Goodwood, ON L0C 1A0; 1 lit softball diamond, formerly Brougham Park.	Goodwood Pickering
Downland Park	LPP	See Lookout Point Park, 555 Stonebridge Lane, Pickering, ON L1W 3A6, north-east corner Stonebridge at Downland Drive, east off of Whites Road, south of Bayly Street & Hwy 401. 1 softball diamond.	Pickering
Dunmoore Park	DUN	At the end of Callahan Street, west off Whites Road, small parking lot often full; alternate parking lot south of Callahan Street on the west side of Whites Road; 1 softball diamond; 2 lit softball diamonds.	Pickering
Fairport Beach Public School	FBS	754 Oklahoma Drive, Pickering, ON L1W 2H5, north side, east off Whites Road, south of Bayly Street; small diamond.	Pickering
Forestbrook Park	FOR	Beside William Dunbar Public School, 1030 Glenanna Road, Pickering, ON L1V 5E3, north side, between Dixie Road and Fairport Road, south of Finch Avenue, 2 softball diamonds.	Pickering
Gandatsetiagon Public School	JMP	see Jean McPherson Park, 1868 Parkside Drive, Pickering, ON L1V 3R2, east side, take New Street east off Whites Road, south of Finch Avenue; softball diamond.	Pickering
Glengrove Park	GGP	Behind Glengrove Public School, 1934 Glengrove Rd, Pickering, ON L1V 1X2, north off of Kingston Rd; 1 softball diamond and 1 small diamond.	Pickering
Greenwood Park	GWP	3551 Greenwood Road, Greenwood, ON L0H 1H0, east side, south of 6th Concession, west of Westney Road; 1 lit softball diamond.	Greenwood Pickering
Highbush Public School	AMB	See Amberlea Park, 1 unlit softball diamond, behind Highbush Public School, 605 Stroud's Lane, Pickering, ON L1V 5M5, south side, east of Whites Road	

Holy Redeemer Separate School	COM	See Commerce Street Park, 747 Liverpool Road, Pickering, ON L1W 1R8; east side, north-east corner at Commerce Street, south of Bayly Street, east of Liverpool Road. two small diamonds.	Pickering
Jean McPherson Park	JMP	Behind Gandatsetiagon Public School, 1868 Parkside Drive, Pickering, ON L1V 3R2, east side, take New Street east off Whites Road, south of Finch Avenue; softball diamond.	Pickering
Kinsmen Park	KIN	Hydro Park & Kinsmen Park, 705 Sandy Beach Road, Pickering ON, L1W 3P5, east side, south off of Bayly Street; between Brock Road and Liverpool Road; There are four diamonds on the east side. Kinsmen diamonds are the northern two and Hydro diamonds are the southern two. Please note that there are parking facilities immediately south of the Hydro diamonds. Please do not park on the grass.; 4 lit softball diamonds.	Pickering
Lookout Point Park	LPP	555 Stonebridge Lane, Pickering, ON L1W 3A6, north-east corner Stonebridge at Downland Drive, east off of Whites Road, south of Bayly Street & Hwy 401. 1 softball diamond; also known as Downland Park;	Pickering
Major Oaks Park	MOP	Behind Valleyfarm Public School, 1615 Pepperwood Gate, Pickering, ON L1X 2K5, east off Major Oaks, west of Brock Road, north of Finch Avenue; 2 softball diamonds.	Pickering
Maple Ridge Park	MRP	Maple Ridge Public School, 2010 Bushmill Street, Pickering, ON L1X 2M2, west off Liverpool Road, north of Finch Avenue; 1 small softball diamond, not tended.	Pickering
McPherson Park	JMP	Behind Gandatsetiagon Public School, 1868 Parkside Drive, Pickering, ON L1V 3R2, east side, take New Street east off Whites Road, south of Finch Avenue; softball diamond.	Pickering
Mitchell Park	MIT	Behind, Bayview Heights Public School, 1400 Garvolin Ave, Pickering, ON L1W 1J6, south of Bayly Street, east of Liverpool Road; two small diamonds.	Pickering
Pine Ridge Sec. School	BEV	See Beverly Morgan Park, 2155 Liverpool Road N., Pickering, ON L1X 1V4 east side, north of Finch; 1 unlit softball diamond.	Pickering
Rick Hull Memorial Park	RHP	Formerly Rosebank Park, behind Rosebank Road Public School, 591 Rosebank Road, Pickering, ON L1W 2N6, south of Highway 401, west of Whites Road; 1 softball diamond.	

Rosebank Park	RHP	Renamed to Rick Hull Memorial Park, behind Rosebank Road Public School, 591 Rosebank Road, Pickering, ON L1W 2N6, south of Highway 401, west of Whites Road; 1 softball diamond.	Pickering
S.M. Woodsmere Park	SMW	Beside Altona Forest Public School, 405 Woodsmere Crescent, Pickering, ON L1V 7A3, west off Rosebank Road, west of Whites Road, between Sheppard & Finch; 1 fenced hardball diamond.	Pickering
Southcott Park	SCP	Beside St Wilfrid Catholic School, 2360 Southcott Road, Pickering, ON L1X 2S9, south of Rossland Road, east of Brock Road; 1 softball diamond.	Pickering
St Wilfrid Catholic School	SCP	See Southcott Park, 2360 Southcott Road, Pickering, ON L1X 2S9, south of Rossland Road, east of Brock Road; 1 softball diamond.	Pickering
Valleyfarm Public School	MOP	see Major Oaks Park, behind Valleyfarm Public School, 1615 Pepperwood Gate, Pickering, ON L1X 2K5, east off Major Oaks, west of Brock Road, north of Finch Avenue; 2 softball diamonds.	Pickering
Vaughn Willard Public School	DFP	See David Farr Memorial Park, 1911 Dixie Road North, Pickering, ON L1V 1V4, north-east corner Dixie Road and Glenanna Road; south of Finch, north of Kingston Road; 1 small softball diamond.	Pickering
Valleyview Park	VVP	Beside Westcreek Public School, 1779 Westcreek Drive, Pickering, ON L1V 6M9, north of Sheppard Avenue, west of Altona Road; 1 softball diamond.	Pickering
Westcreek Public School	VVP	See Valleyview Park, 1779 Westcreek Drive, Pickering, ON L1V 6M9, north of Sheppard Avenue, west of Altona Road; 1 softball diamond.	Pickering
William Dunbar Park	FOR	See Forestbrook Park, beside William Dunbar Public School, 1030 Glenanna Road, Pickering, ON L1V 5E3, north side, between Dixie Road and Fairport Road, south of Finch Avenue, 2 softball diamonds.	Pickering
Woodsmere Park	SMW	See S.M. Woodsmere Park, beside Altona Forest Public School, 405 Woodsmere Cres, Pickering, ON L1V 7A3, west off Rosebank Road, west of Whites Road, between Sheppard & Finch; 1 fenced hardball diamond.	Pickering

6. BIC

Report Writing

CEA – DRAFT Natural Environment Summary

1854 – 1858 Liverpool Road, City of Pickering

Background

Cunningham Environmental Associates (CEA) undertook a site reconnaissance and inventory in June 2019 of two (2) as-built residential lots located at the municipal addresses of 1854 Liverpool Road and 1858 Liverpool Road, in the City of Pickering. These two lots are henceforth referred to as the “subject property”.

The following is a summary of the cultural, anthropogenic and natural environment attributes and ecological functions documented to-date. The summary also includes a review of the relevant Durham Region Official Plan schedules (Regional Municipality of Durham 2017) and the City of Pickering Official Plan schedules (City of Pickering 2018), and garners input from the Arborist Report for 1854 and 1858 Liverpool Road (DA White TreeCare 2019).

A total of 44 (forty-four) trees (individuals or in clumps) were found and documented on the 2 as-built residential lots (DA White TreeCare 2019). There are other trees on neighbouring lots and within the Liverpool Road right-of-way that were also documented. The remainder of the vegetation on-site consists of typical cultural features consisting of manicured grassed lawn, flowers beds and ornamental shrubs.

Key Natural Heritage and Hydrologic Features

Based on the Arborist report and the June site reconnaissance, there are no features on the subject property that would qualify as Key Natural Heritage and Hydrologic Features as illustrated on Schedule ‘B’ – Map ‘B1d’ Greenbelt Natural Heritage System & Key Natural Heritage and Hydrologic Features, contained in the Durham Region Official Plan (2017). Based on the Durham Region By-Law Number 31-2012 (Regional Municipality of Durham 2012), the numbers, density and distribution of trees on the subject property do not qualify as “Woodland” or “Woodlands”, based on the “Woodland” prescription contained in Section 1. Definitions – Sub-section 1.1 (v) of the By-Law.

The City of Pickering Schedule III B – to the Pickering Official Plan Edition 8 Resource Management: Key Natural Heritage Features contained in the City of Pickering Official Plan (2018) does not show any features on the subject property. This is confirmed by the Arborist report and the June site reconnaissance.

Provincial Species At Risk (SAR)

CEA has undertaken a due diligence exercise on behalf of the Owners, and conclude there are no Endangered (END), Threatened (THR) or Special Concern species on the subject property or any potential SAR habitats that are regulated under the Province of Ontario *Endangered Species Act, 2007*

(ESA, 2007) (Province of Ontario 2007). We have reviewed data germane to the subject property contained in the Natural Heritage Information Centre – NHIC (2019), Land Information Ontario – LIO (2019) and the Ontario Breeding Bird Atlas – OBBA (Bird Studies Canada *et al.* 2006). No SAR records were found on or abutting the subject property.

Other Potential Natural Environment Issues

Based on aerial photograph interpretation, on-site conditions and lack of natural features, there are no obvious and/or feasible connections and/or linkages to off-site natural features. The nearest KNHF/HF is Pine Creek valley which lies far to the west of the subject property. The subject property is not regulated by the Toronto Region Conservation Authority under Ontario Regulation 166/06 (Province of Ontario 2006).

References

Bird Studies Canada, Environment Canada's Canadian Wildlife Service, Ontario Nature, Ontario Field Ornithologists and Ontario Ministry of Natural Resources.

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Feb 7
Arborist Report

Arborist Report For

1854 and 1858 Liverpool Road

Pickering, Ontario (May 15, 2019)



DAWhiteTreeCare.com Tel: 416 431 2453, e-mail: DAWhiteTreeCare@gmail.com

D. Andrew White M. Sc. ISA Certified Arborist ON-0734. 78 Marcella St. Toronto, ON, M1G 1L2.

1. Introduction

The following is an arborist report for the property at 1854 and 1858 Liverpool Road, in Pickering Ontario. The purpose of this report was to inventory the trees on the site and ascertain the potential impacts of the proposed construction of a 12-storey apartment building on the trees on, and near, the subject site (table 1, Figs. 1 & 2).

This report was prepared for *Grant Morris Associates Ltd.*

2. Methods

An on-site inspection was made on May 9th, 2019. The sizes of individual trees were measured as diameter at breast height (DBH), breast height being 140 cm from ground level. From the data collected plant Condition Rating (CR), Location Rating (LR), Species Rating (SR), and minimum Tree Protection Zones (TPZ), were estimated.^{1,2}

3. Discussion

There are plans to build a new apartment building at 1854 and 1858 Liverpool Road. All of the trees on the site would best be removed, in order to allow for the proposed development. It would be difficult to incorporate existing trees into the site plan proposal (Table 1, Figs. 1 & 2).

Road Allowance Trees:

Two large road allowance maple trees would be retained with some risk of injury. The trees would be less than their six to seven metre drip-lines from the excavation zones and workspace access gaps (Table 1, Fig. 1).

The remaining road allowance trees could be retained without significant risk of injury. The trees would be more than their TPZ radii from the worksite (Table 1, Fig. 1).

Private Trees:

All of the trees on the subject site would be incompatible with the development plans. Forty four (44) privately owned trees over 15 cm DBH would be removed. In addition, several small white cedars in hedges would be removed. The trees would be too close to the worksite to be retained without undue risk of (Table 1, Figs. 1 & 2).

Six (6) of the maple trees, #45, #46 & #47, #48, #49 & #50, to be removed are in very poor condition. The trees have very poor scaffold branch structure, with signs of decay in the lower boles. These trees should be considered hazardous and currently threaten the existing houses on 1858 & 1862 (Table 1, Figs. 1 & 2).

Neighbours' Trees:

Three trees on neighbouring properties could be retained with some risk of injury. The root zone infringements in the outer drip-lines could cause some root injury. In my opinion, the root injuries should be tolerable. Root inspections would not be informative. The extent of root injuries could be accurately estimated based on drip-line infringements. Root pruning would occur concurrently with the excavations near the trees (Table 1, Figs. 1 & 2).

A large silver maple tree, #8, on a neighbouring site is being considered for removal by an application of the neighbouring property owner (Table 1, Figs. 1 & 2).

The remaining trees on neighbouring properties would be retained, with little risk of injury. The trees would more than their TPZ radii from the worksite (Table 1, Fig. 1).

3.2 Tree Protection:

It is necessary to protect all trees designated for preservation during both demolition and construction. This tree protection can be accomplished by protecting the said trees with *tree protection barriers*. The minimum tree protection zone (TPZ) radius is based on the diameter of the tree ($TPZ \approx 0.06_{m/cm} \times DBH_{cm}$). Tree barriers for road allowance areas would be composed of a 1.2 metres (4 ft) high orange plastic web snow fencing secured on 2"x4" wood frames. Usually, tree protection barriers, not on road allowance, are to be 1.2 metres (4 ft) high, and composed of plywood.^{3,4}

Roadside Barriers:

Both of the road allowance maple trees would be enclosed in web-fence barriers. The barriers would extend out at least 7.0 metres from the trees, except for where they would otherwise overlap into the public sidewalk or where they would block worksite access. A gap of at least two metres would be required between the excavation over-digs and the tree protection barriers. There would be no heavy equipment between the sidewalk and the roadside. An extension of the barriers would not be necessary on the outer (east) side of the sidewalk (Fig. 2, Table 1).

Backyard Barriers:

The neighbouring trees would be protected by plywood tree protection barriers. The barriers would be placed near the margins of the proposed parking lot. On the south side the barrier would be placed at least 2.4 metres from the fence line where feasible. Near the excavation zone the barrier would be placed as close to over-dig margin as would be possible. A gap of at least two metres would be necessary for worksite access (Fig. 2, Table 1).

3.3 Replacement Trees:

Grant Morris Associates Ltd. is developing a landscape plan for the 1854 and 1858 Liverpool Road property. New large caliper trees would be transplanted to the site, as replacements for the trees that would be removed (Table 1, Fig. 2).

The new trees would be of large calliper nursery grown stock. The trees would be transplanted as according to municipal codes and bylaws.^{4,5}

- (1) Minimum 50 mm calliper (2-inch wide stem) for deciduous trees
- (2) Minimum 1.75-2.5 m height for coniferous trees

Trees would best be transplanted during the spring or autumn. Mid-summer transplanting should be avoided. These trees are to be maintained in good condition. Supplemental watering may be required during the drier periods of the year, especially during the first two or three years after their transplantation.^{4,5}


4. Conclusions

In order to allow for the proposed construction of a 12-storey apartment building at 1854 and 1858 Liverpool Road, forty four (44) privately owned trees over 15 cm DBH would need best be removed. At least three private trees on neighbouring properties would be placed at risk of root injury. Two large road allowance trees would be placed at some risk of injury (Table 1, Figs. 1 & 2).

In my opinion the tree injury risk to trees neighbouring the 1854 and 1858 Liverpool Road site would be tolerable (Table 1, Figs. 1 & 2).

Grant Morris Associates Ltd. is developing a landscape plan for the 1854 and 1858 Liverpool Road property. New large caliper trees would be transplanted to the site, as replacements for the trees that would be removed

D. Andrew White M. Sc.

A handwritten signature in blue ink that reads "D. Andrew White". The signature is written in a cursive style with a large, stylized initial "D".

May 15, 2019

5. Tree Data:

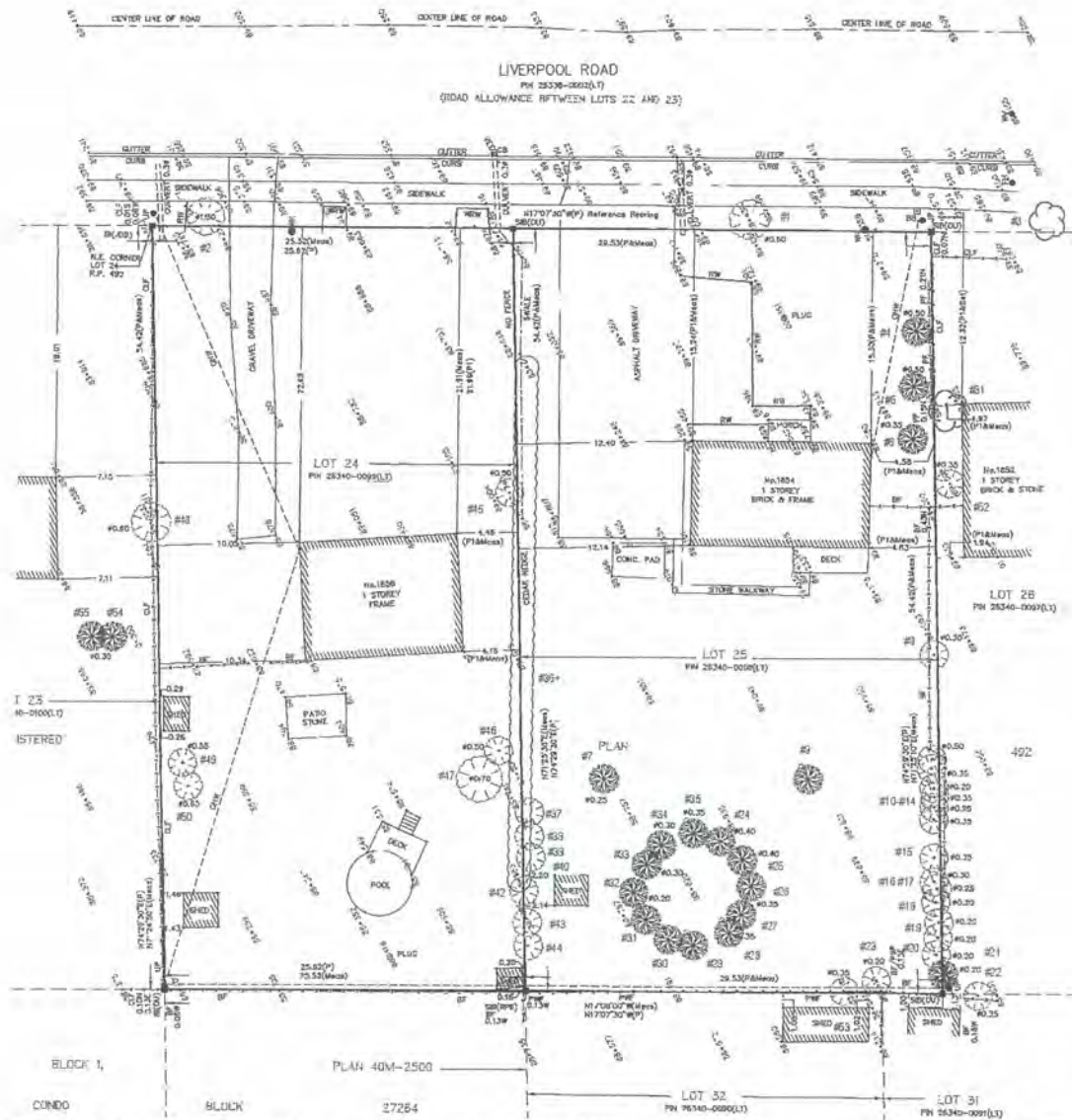


Figure #1: Tree Locations and layout of the 1854 and 1858 Liverpool Road site. Trees are numbered, and tree protection barriers (red) are indicated.

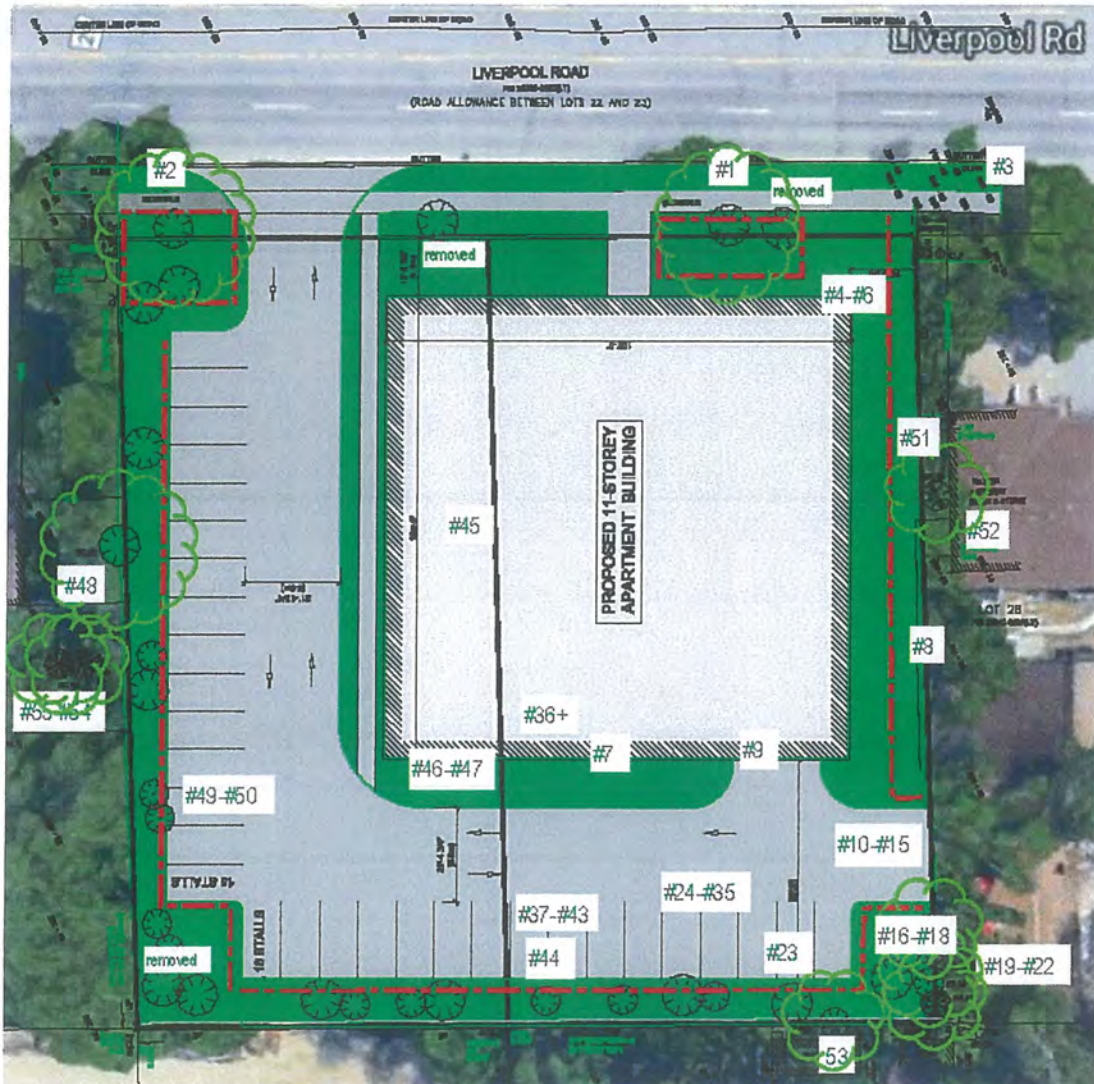


Figure #2: Site Plan Proposal for the 1854 and 1858 Liverpool Road site. Trees are numbered, and tree protection barriers (red) are indicated.



Photograph #1: Front yard trees #3, #1 and #2 on and near the roadside of the 1854 and 1858 Liverpool Road site.



Photograph #2: Tree # 2 on the 1854 and 1858 Liverpool Road development site.



Photograph #3: Trees #3, #4 to #6 on the 1854 and 1858 Liverpool Road development site.



Photograph #4: Trees #9 to #35 on the 1854 and 1858 Liverpool Road development site.



Photograph #5: Trees #7 and #47 on the 1854 and 1858 Liverpool Road site.



Photograph #5: Trees #46 and #47 on the 1854 and 1858 Liverpool Road site.



Photograph #6: Trees #48, #49, & #50 on and adjacent to the 1854 and 1858 Liverpool Road development site.

Table #1. Tree number (No.), species, diameter at breast height (DBH), comments, Condition Rating (CR) and Tree Category.

No.	Tree Species	DBH	Comments	CR	TC
#1	Silver Maple <i>Acer saccharinum</i>	51-59 cm (130 cm)	Injury risk, retain tree with fused trunk TPZ: 7.8 m	50%	Town
#2	Silver Maple <i>Acer saccharinum</i>	143	Injury risk, retain tree with forked trunk TPZ: 9 m	52.5%	Town
#3	Silver Maple <i>Acer saccharinum</i>	114	Protect tree offsite, tag #258 TPZ: 7.2 m	55%	Town
#4	Norway Spruce <i>Picea abies</i>	51	Remove tree in worksites footprint, tag #259 TPZ: 3.6 m	65%	Private
#5	Norway Spruce <i>Picea abies</i>	49	Remove tree in worksites footprint, tag #260 TPZ: 3.0 m	65%	Private
#6	Norway Spruce <i>Picea abies</i>	31	Remove tree in worksites footprint, tag #261 TPZ: 2.4 m	60%	Private
#7	White Cedar <i>Thuja occidentalis</i>	10-25	Remove tree in worksites TPZ: 1.8 m	65	Private
#8	White Mulberry <i>Morus alba</i>	18-28	Remove tree in worksites TPZ: 1.8 m	65	Private
#9	White Cedar <i>Thuja occidentalis</i>	26-31	Remove tree in worksites TPZ: 2.4 m	65	Private

No.	Tree Species	DBH	Comments	CR	TC
#10	Siberian Elm <i>Ulmus pumila</i>	42-44 cm	Remove tree in worksite TPZ: 3.0 m	55	Private
#11	Manitoba Maple <i>Acer negundo</i>	31	Remove tree in worksite TPZ: 1.8 m	60	Private
#12-18	Siberian Elms <i>Ulmus pumila</i>	21-36	Remove 7 trees in worksite TPZ: 1.8-2.4 m	55-60	Private
#19-21	Siberian Elms <i>Ulmus pumila</i>	16-19	Remove 3 trees near worksite TPZ: 1.8 m	55-60	Private & Neighbour
#22	White Cedar <i>Thuja occidentalis</i>	15	Protect tree near worksite TPZ: 1.8 m	55-65	Neighbour
#23	Norway Maple <i>Acer platanoides</i>	18	Remove tree near worksite TPZ: 1.8 m	65	Private
#24	Norway Spruce <i>Picea abies</i>	48	Remove tree near worksite TPZ: 3.0 m	65	Private
#25	Norway Spruce <i>Picea abies</i>	42	Remove tree near worksite TPZ: 3.0 m	70	Private
#26	Norway Spruce <i>Picea abies</i>	43	Remove tree near worksite TPZ: 3.0 m	65	Private
#27	Norway Spruce <i>Picea abies</i>	42	Remove tree near worksite TPZ: 3.0 m	65	Private
#28	Norway Spruce <i>Picea abies</i>	45	Remove tree near worksite TPZ: 3.0 m	65	Private
#29	Norway Spruce <i>Picea abies</i>	48	Remove tree near worksite TPZ: 3.0 m	65	Private
#30	Norway Spruce <i>Picea abies</i>	34	Remove tree near worksite TPZ: 2.4 m	70	Private

No.	Tree Species	DBH	Comments	CR	TC
#31	Norway Spruce <i>Picea abies</i>	36 cm	Remove tree near worksite TPZ: 2.4 m	65	Private
#32	Norway Spruce <i>Picea abies</i>	39	Remove tree near worksite TPZ: 2.4 m	70	Private
#33	Norway Spruce	35	Remove tree near worksite TPZ: 2.4 m	65	Private
#34	Norway Spruce <i>Picea abies</i>	46	Remove tree near worksite TPZ: 3.0 m	65	Private
#35	Norway Spruce <i>Picea abies</i>	49	Remove tree near worksite TPZ: 3.0 m	65	Private
#36+	White Cedar <i>Thuja occidentalis</i> s	8-15	Hedge to be removed TPZ: 1.2-1.8 m	65-70	Private
#37-44	Siberian Elms <i>Ulmus pumila</i>	16-41	Remove 8 trees in worksite TPZ: 1.8-3.0 m	50-60	Private
#45	Manitoba Maple <i>Acer negundo</i>	59	Remove tree in worksite TPZ: 3.6 m	50	Private
#46 *	Silver Maple <i>Acer saccharinum</i>	72-78 (100)	Remove tree with fused trunk in worksite TPZ: 6.0 m	50	Private
#47 *	Silver Maple <i>Acer saccharinum</i>	14	Remove tree in worksite TPZ: 1.8 m	65	Private
#48 *	Silver Maple <i>Acer saccharinum</i>	45-64 (80)	Remove tree with fused trunk TPZ: 5.4 m	55	Fence-line

Note:

*46, *47 & *48 are hazard risk to the existing houses on 1858 & 1862 Liverpool Road

No.	Tree Species	DBH	Comments	CR	TC
#49 *	Silver Maple <i>Acer saccharinum</i>	20-78 cm	Remove tree with multiple stems in worksite TPZ: 4.8 m	50	Private
#50 *	Silver Maple <i>Acer saccharinum</i>	19	Remove tree in worksite TPZ: 1.8 m	60	Private
#51	White Mulberry <i>Morus alba</i>	18-20	Low risk to offsite tree	65	Neighbour
#52	Siberian Elm <i>Ulmus pumila</i>	29-32	Injury risk low to off-site tree TPZ: 2.4 m	60	Neighbour
#53	Norway Maple <i>Acer platanoides</i>	41	Injury risk low to off-site tree TPZ: 3.0 m	50	Neighbour
#54-55	White Spruce <i>Picea glauca</i>	26-28	Protect off-site trees TPZ: 1.8 m	70	Neighbour

Note:

*49 & *50 are hazard risks to the existing house on 1858 Liverpool Road.

6. References

- 1- Council of Tree Landscape Appraisers. 2000. Guide for Plant Appraisal. 9th Edition. International Society of Arboriculture.
- 2- International Society of Arboriculture of Ontario. 1998. Ontario Supplement to Guide for Plant Appraisal 8th Edition. Ontario Chapter, International Society of Arboriculture.
- 3- City of Pickering. 2014. Pickering Website. <http://www.cityofpickering.com> . Pickering Civic Complex. One The Esplanade. Pickering, ON L1V 6K7.
- 4- City of Pickering. 2003. TREE PROTECTION BY-LAW - BY-LAW NUMBER 6108/03. Corporation of the City of Pickering.
- 5- MMAH. 2005. Greenbelt Plan No. 208/2005. Feb 28, 2005. Ministry of Municipal Affairs & Housing.

Arborist Report For

1854 and 1858 Liverpool Road

Pickering, Ontario (May 15, 2019)



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Tab 3
Landscape Plan

Proposed Plant Material List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	REMARKS
DECIDUOUS TREES							
ARU		Acer rubrum	Native Red Maple	70 mm		B.&B.	Full Form
LTP		Liriodendron tulipifera	Tulip Tree	60 mm	cream	B.&B.	Full Form
QRB		Quercus rubra	Red Oak	70 mm		B.&B.	Full Form
CONIFEROUS TREES							
PGL		Picea glauca	White Spruce	200 cm		B.&B.	Full Form
DECIDUOUS SHRUBS							
DNK		Cornus sericea 'Kelsey'	Kelsey Red Osier Dogwood	60 cm		C.G.	Full Form
DDN		Deutzia gracilis 'Nikko'	Dwarf Slender White Deutzia	35 cm		C.G.	Full Form
HA		Hydrangea arborescens 'Abelco'	Incrediball Hydrangea	60 cm		C.G.	Full Form
HA		Hydrangea macrophylla 'Deep Blue'	Deep Blue Hydrangea	60 cm		S gal	Full Form
PCP		Physocarpus opulifolius	Common Ninebark	80 cm		C.G.	Full Form
SBC		Spiraea bumalda 'Gold Mound'	Gold Mound Spiraea	60 cm		C.G.	Full Form
SBS		Spiraea bumalda 'Snow Mound'	Snow Mound Spiraea	50 cm		C.G.	Full Form
YTC		Viburnum trilobum 'Compactum'	Compact High Bush-Cranberry	70 cm		B.&B.	Full Form
CONIFEROUS SHRUBS							
JCC		Juniper chinensis 'Gold Coast'	Gold Coast Juniper	70 cm		C.G.	Full Form
TCF		Taxus cuspidata 'Fairview'	Fairview Yew	65 cm		C.G.	Full Form
TDS		Thuja occidentalis 'Smaragd'	Emerald Cedar	100 cm		B.&B.	Full Form
PERENNIALS							
FAT		Perovskia atriplicifolia	Russian Sage			2 Gal.	Full Form (PPOY Winner)
PLS		Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage			2 Gal.	Full Form

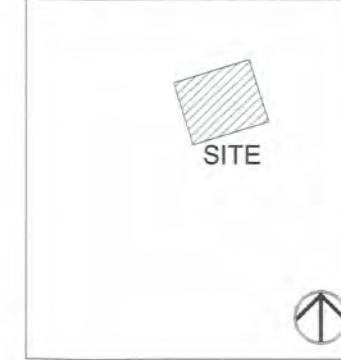
Proposed Boulevard Tree List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	REMARKS
DECIDUOUS TREES							
PAC		Platanus x acerifolia	London Plane Tree	70 mm		B.&B.	Full Form
PCO		Pyrus 'Capital Ornamental Pear'	Capital Ornamental Pear	80 mm		B.&B.	Full Form
TCD		Tilia cordata 'Greenspire'	Greenspire Linden	70 mm		B.&B.	Full Form

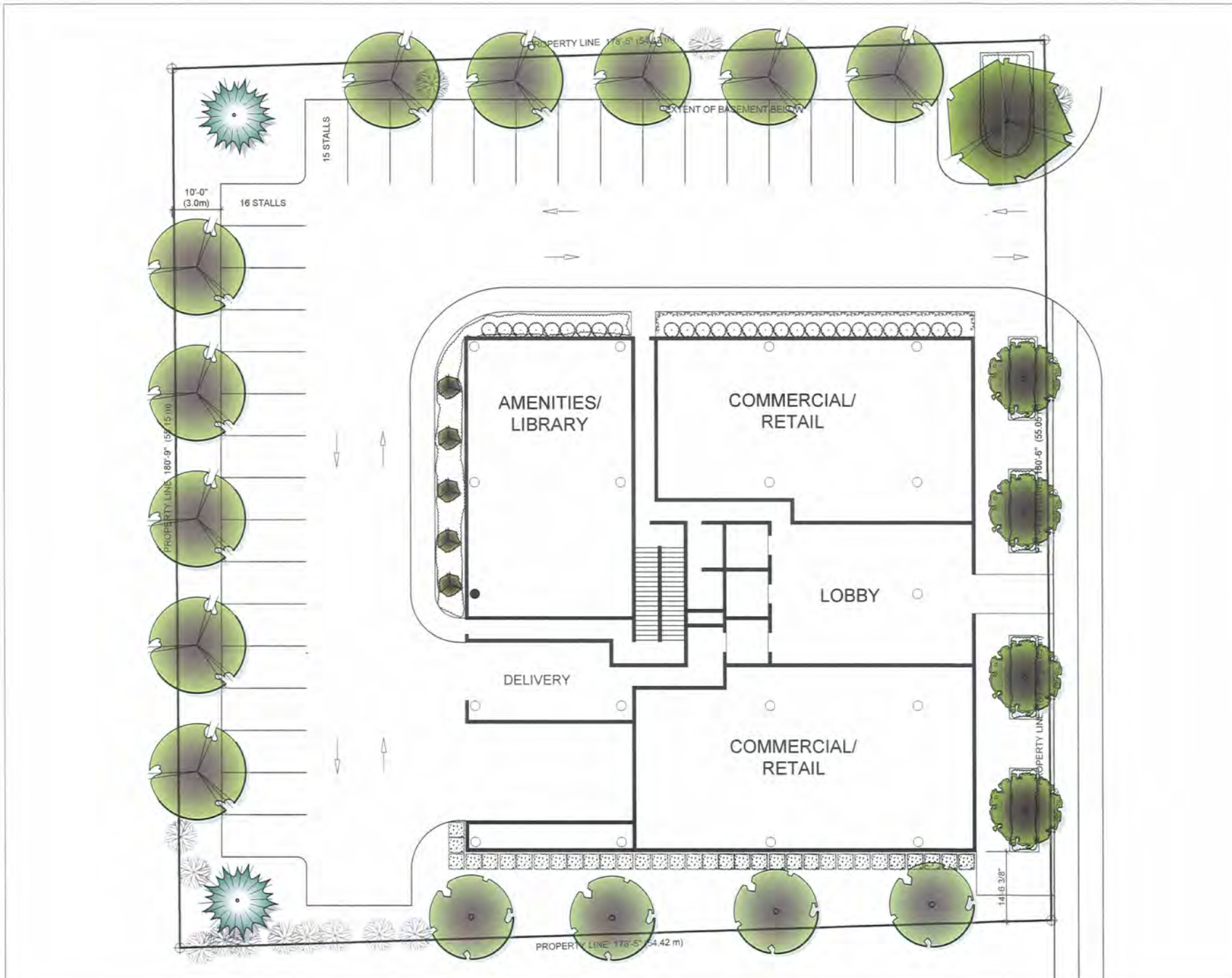
Legend

- Existing Deciduous Tree Canopy
- Proposed Deciduous Tree
- Proposed Coniferous Tree
- Property Line
- Proposed Tree Protection Fencing - Refer to Arborist Information
- Prop Sodded Area Typ.
- Proposed Retaining Wall
- Proposed Bike Ring
- Detail Reference Key
- Existing Tree - Refer to Arborist Information
- Existing Tree to be Removed - Refer to Arborist Information

Key Map



Architect: _____
 Client/Owner: _____



Notes:

07
06
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04
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02
01 Issued for Review 07/08/19

No. Revision Date

North: Stamp:

Project:
Proposed Landscape Plan
 1854 & 1858 Liverpool Road
 Pickering, Ontario

Scale: 1:150 Date: **Aug 2019**

Drawn By: **S.P.** Checked By: **L.M.**

Drawing Title:
Landscape Master Plan

Project No. Sheet No.
19126 L1-01

Information contained in these plans shall be checked by the contractor. All dimensions shall be reported to the Landscape Architect. Copying or any reproduction in part or whole shall only be permitted with written consent of MSLA. A drawing shall not be used for construction unless it is signed and sealed by the Landscape Architect. The professional seal and signature of the Landscape Architect shall be required for construction. All construction shall be in accordance with the approved construction documents. MSLA shall not be responsible for any damage to property or persons resulting from the use of these drawings. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY THE ARCHITECT. SIGNED

Tab 9.

Development Clotbes

Development Charges

This summary is provided for general information only, and is not a guarantee of the total development charges which will be applied by all agencies on any building. Final calculation and confirmation of amounts will be determined following review of plans in support of a building permit application. For City, Education and some Regional charges, the applicable rate is determined by the date of permit issuance, and payment is required at that time. There are other payment options for Region charges on plans of subdivisions. For further information, please contact the agencies indicated.

City of Pickering (City Wide – Excludes Seaton Lands)

City Development Charges are indexed and revised effective **July 1st annually**. For further information, please contact Building Services at 905.420.4631.

Effective Date (permits issued on or after)	July 1, 2018
Residential (per dwelling unit)	
Singles & Semi-detached	\$14,549
Apts. Two Bedroom +	7,475
Apt. One Bedroom (includes seniors' residence)	5,486
Other Dwelling Units (includes townhouses)	11,748
Non-Residential (per sq.ft. of gross floor area)	3.03
(per sq.m. of gross floor area)	32.61

Region of Durham (Excludes Seaton Lands)

These amounts are the maximum payable. Lesser amounts may apply in specific areas. Region Development Charges are indexed and revised effective **January 1st annually**. The Region will prescribe the applicable non-residential floor area. Some exemptions may apply. For further information on residential charges, please contact the Regional Works Department at 905.668.7721 ext. 3457. For further information on non-residential charges, please contact the Regional Works Department at 905.668.7711.

Effective Date (permits issued on or after)	July 1, 2018
Residential (per dwelling unit)	
Single & Semi-Detached	\$31,139
Apts. Two Bedroom +	18,124
Apt. One Bedroom -	11,784
Medium Density Multiples (includes townhouses)	25,081
Commercial (per sq.ft. of office or retail space)	18.47
(per sq.m. of office or retail space)	198.81
Institutional (per sq.ft.)	9.63
(per sq.m.)	103.65
Industrial (per sq.ft.)	9.96
(per sq.m.)	107.20

Education

These amounts apply from **May 1, 2019 to April 30, 2020**. The Durham Separate School Board will prescribe the applicable non-residential floor area. Some exemptions may apply. For further information, please contact the Durham Catholic District School Board at 1.877.482.0722 ext. 2211. For further information on residential charges, please contact the Durham District School Board at 905.666.6431.

	Public Board	Separate Board	Total
Residential (per dwelling unit)	\$2,249	\$1,086	\$3,335
Commercial	\$0	\$0	\$0

Alternate formats available upon request at 905.683.7575.

RESIDENTIAL DEVELOPMENT CHARGES ⁽¹⁾

Effective July 1, 2018
\$ PER DWELLING TYPE

SERVICE CATEGORY	Single and Semi Detached \$	Medium Density Multiples \$	Apartment Two Bedrooms and Larger \$	Apartment One Bedroom and Smaller \$
<u>Region-Wide Charges</u>				
Regional Roads	9,250	7,432	5,373	3,502
GO Transit	723	641	454	270
Regional Transit	1,143	919	664	431
Regional Police Services	715	575	416	271
Long Term Care	19	15	11	7
Paramedic Services	170	137	99	64
Health and Social Services	123	99	72	47
Housing Services	387	311	225	147
Development Related Studies	19	15	11	7
Total	12,549	10,144	7,325	4,746
<u>Regional Water Supply & Sanitary Sewer Charges</u>				
Water Supply ⁽²⁾ ⁽³⁾	9,420	7,569	5,472	3,566
Sanitary Sewerage ⁽²⁾ ⁽³⁾	9,170	7,368	5,327	3,472
Total of All Charges	\$31,139	\$25,081	\$18,124	\$11,784

⁽¹⁾ Will be further adjusted for indexing on July 1 on an annual basis.

⁽²⁾ These charges are only payable in areas where the services are, or will be available, or the lands to be developed are in an area designated for the particular service in the Region's Official Plan.

⁽³⁾ The water and sewer component of the residential development charge is not applicable to lands developed within the Seaton Community.