

PICKERING DESIGN CENTRE (BLOCK 1)

1775 PICKERING PARKWAY
 PICKERING, ON.

06.037RZ



**TURNER
 FLEISCHER**

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 Toronto, ON, M3B 2T8
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**ISSUED FOR SPA
 May 12th, 2022**



CIVIL

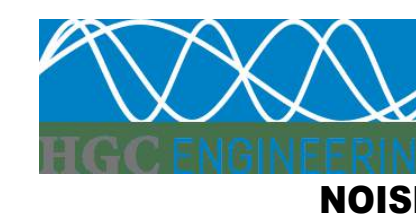
ODAN DETECH

5230 South Service Road
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 Burlington, ON, L7L 5K2
 Tel:905-632-3811
 Contact:Mark Harris
 Email:mark@odandetech.com



Studio TLA

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 Toronto, ON, M3H 2Z1
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 Contact:Ray Ronaghan
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NOISE

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2000 Argentia Road, Plaza One
 Suite 203
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 Tel:905-826-4044
 Contact:Yvonne Lo
 Email:ylo@hgcengineering.com



SURVEYING

**Speight, Van Nostrand &
 Gibson Limited**

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 Unit 65 & 66
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 Tel:416-749-7866
 Contact:Dave Wilton
 Email:wilton@svng.on.ca



PLANNING

Zelinka Priamo Ltd.

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 M5V 2M5
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SALEABLE UNIT MIX PROVIDED

BLDG	FLOOR	SALEABLE UNIT MIX PROVIDED							TOTAL	AVG. UNIT SIZE		
		STUDIO	1B	1B+D	2B	2B+D	3B	3B+D		m²	ft²	
TOWER A1+A2	FLOOR 2	1	5	4	2	7	10	2	31	72.7	783	
	FLOOR 3	1	5	4	2	7	10	2	31	72.7	783	
	FLOOR 4	1	5	4	2	7	10	2	31	72.7	783	
	FLOOR 5	1	5	4	2	7	10	2	31	72.7	783	
	FLOOR 6	1	5	7	2	6	5		26	63.9	688	
	FLOOR 8		4	10	2	2	4		22	61.8	666	
	FLOOR 9		4	10	2	2	4		22	61.8	666	
	FLOOR 10		4	10	2	2	4		22	61.8	666	
	FLOOR 11		4	10	2	2	4		22	61.8	666	
	FLOOR 12		4	10	2	2	4		22	61.8	666	
	FLOOR 13		4	10	2	2	4		22	61.8	666	
	FLOOR 14		4	10	2	2	4		22	61.8	666	
	FLOOR 15		4	10	2	2	4		22	61.8	666	
	FLOOR 16	2	2	9	4	5			22	59.9	644	
	FLOOR 17	2	2	9	4	5			22	59.9	644	
	FLOOR 18	2	2	9	4	5			22	59.9	644	
	FLOOR 19	2	2	9	4	5			22	59.9	644	
	FLOOR 20	2	2	9	4	5			22	59.9	644	
	FLOOR 21	2	2	9	4	5			22	59.9	644	
	FLOOR 22	2	2	9	4	5			22	59.9	644	
	FLOOR 23	2	2	9	4	5			22	59.9	644	
	FLOOR 24	2	2	9	4	5			22	59.9	644	
	FLOOR 25	2	2	9	4	5			22	59.9	644	
	FLOOR 26	2	2	9	4	5			22	59.9	644	
	FLOOR 27	2	2	9	4	5			22	59.9	644	
	FLOOR 28	2	2	9	4	5			22	59.9	644	
	FLOOR 29	2	2	9	4	5			22	59.9	644	
	FLOOR 30	2	2	9	4	5			22	59.9	644	
	FLOOR 31	2	2	9	4	5			22	59.9	644	
	SUBTOTAL		37	89	247	90	130	77	8			
	TOTAL UNITS		37	336	220	85	678				62.9	677
UNIT MIX		5.5%	13.1%	36.4%	13.3%	19.2%	11.4%	1.2%	100.0%			
UNIT MIX TOTAL		5.5%	49.6%	32.4%	12.5%	100.0%						
AVG UNIT SIZE		39.9	43.2	59.2	63.1	71.8	89.3	100.8	m²			
AVG UNIT SIZE TOTAL		39.9	55.0	68.2	90.3	m²						

AMENITY AREAS REQUIRED & PROVIDED

TOWER	TYPE	REQUIRED			PROVIDED		
		RATIO	m²	ft²	RATIO	m²	ft²
TOWER A1	INDOOR AMENITY	2.00 m²/UNIT	692.00	7,449	2.46 m²/UNIT	851.28	9,163
	OUTDOOR AMENITY	2.00 m²/UNIT	692.00	7,449	1.76 m²/UNIT	610.34	6,570
	TOTAL AMENITY	4.00 m²/UNIT	1,384.00	14,897	4.22 m²/UNIT	1,461.63	15,733

AMENITY AREAS REQUIRED & PROVIDED

TOWER	TYPE	REQUIRED			PROVIDED		
		RATIO	m²	ft²	RATIO	m²	ft²
TOWER A2	INDOOR AMENITY	2.00 m²/UNIT	664.00	7,147	2.06 m²/UNIT	686.76	7,392
	OUTDOOR AMENITY	2.00 m²/UNIT	664.00	7,147	1.32 m²/UNIT	441.16	4,749
	TOTAL AMENITY	4.00 m²/UNIT	1,328.00	14,294	3.39 m²/UNIT	1,127.92	12,141

SALEABLE UNIT MIX REQUIRED

TOWER	RATIO	COUNT	SALEABLE UNIT MIX REQUIRED						TOTAL
			STUDIO	1B	1B+D	2B	2B+D	3B	
TOWER A1+A2	5.0%	32	95	126	189	126	62	630	100.0%

SALEABLE UNIT MIX PROVIDED - UNIT TOTALS

BLDG	FLOOR	SALEABLE UNIT MIX PROVIDED							TOTAL	AVG. UNIT SIZE	
		STUDIO	1B	1B+D	2B	2B+D	3B	3B+D		m²	ft²
TOWER A1+A2	A1	16	47	148	29	59	43	4	346	63.5	683
	A2	21	42	99	61	71	34	4	332	62.3	670
SUBTOTAL		37	89	247	90	130	77	8	678		
TOTAL UNITS		37	336	220	85	678				62.9	677
UNIT MIX		5.5%	13.1%	36.4%	13.3%	19.2%	11.4%	1.2%	100.0%		
UNIT MIX TOTAL		5.5%	49.6%	32.4%	12.5%	100.0%					
AVG UNIT SIZE		39.9	43.2	59.2	63.1	71.8	89.3	100.8	m²		
AVG UNIT SIZE TOTAL		39.9	55.0	68.2	90.3	m²					

VEHICULAR PARKING - MINIMUM REQUIRED

TOWER	USE	RATIO (MIN.)	UNITS / GFA (m²)	SPACES (MIN.)
	STUDIO UNITS	0.80 / UNIT	37	29
	1B & 1B+D UNITS	0.80 / UNIT	336	268
	2B & 2B+D UNITS	0.80 / UNIT	220	176
	3B & 3B+D UNITS	0.80 / UNIT	85	68
	RETAIL	3.50/100 m²	1669	58
	TOTAL			700

VEHICULAR PARKING PROVIDED

TOWER	FLOOR	USE			TOTAL
		RETAIL	VISITOR	RESIDENTIAL	
TOWER A1+A2	FLOOR 1	3			3
	UG 1	56	97	4	157
	UG 2			160	160
	UG 3			168	168
	UG 4			171	171
TOTAL		59	97	503	659

BICYCLE PARKING - MINIMUM REQUIRED (AS PER CITY OF PICKERING BY-LAW 7553/17)

TOWER	RESIDENTIAL		RETAIL		TOTAL
	RATIO	SPACES	RATIO	SPACES	
TOWER A1+A2	0.50 / UNIT	315	1/1000 m²	2	3
TOTAL		315		2	317

BICYCLE PARKING PROVIDED

TOWER	FLOOR	USE		TOTAL
		RETAIL	RESIDENTIAL	
TOWER A1+A2	LEVEL 1	10	228	238
	UG 1		60	60
	UG 2		27	27
	UG 3			
TOTAL		10	315	325

50% OF BICYCLE PARKING TO BE VERTICAL, THE REST MUST BE HORIZONTAL.

25% MUST BE LOCATED WITHIN:

- 1) A BUILDING OR STRUCTURE
- 2) A SECURE AREA (SUPERVISED PARKING LOT OR ENCLOSURE)
- 3) BICYCLE LOCKERS

SALEABLE UNIT MIX PROVIDED

BLDG	FLOOR	SALEABLE UNIT MIX PROVIDED							TOTAL	AVG. UNIT SIZE		
		STUDIO	1B	1B+D	2B	2B+D	3B	3B+D		m²	ft²	
TOWER A1	FLOOR 2	3	2	1	4	6	1	17	74.7	804		
	FLOOR 3	3	2	1	4	6	1	17	74.7	804		
	FLOOR 4	3	2	1	4	6	1	17	74.7	804		
	FLOOR 5	3	2	1	4	6	1	17	74.7	804		
	FLOOR 6	3	4	1	3	3		14	64.6	695		
	FLOOR 8	2	5	1	1	2		11	61.8	665		
	FLOOR 9	2	5	1	1	2		11	61.8	665		
	FLOOR 10	2	5	1	1	2		11	61.8	665		
	FLOOR 11	2	5	1	1	2		11	61.8	665		
	FLOOR 12	2	5	1	1	2		11	61.8	665		
	FLOOR 13	2	5	1	1	2		11	61.8	665		
	FLOOR 14	2	5	1	1	2		11	61.8	665		
	FLOOR 15	2	5	1	1	2		11	61.8	665		
	FLOOR 16	1	1	6	1	2		11	59.8	644		
	FLOOR 17	1	1	6	1	2		11	59.8	644		
	FLOOR 18	1	1	6	1	2		11	59.8	644		
	FLOOR 19	1	1	6	1	2		11	59.8	644		
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	FLOOR 22	1	1	6	1	2		11	59.8	644		
	FLOOR 23	1	1	6	1	2		11	59.8	644		
	FLOOR 24	1	1	6	1	2		11	59.8	644		
	FLOOR 25	1	1	6	1	2		11	59.8	644		
	FLOOR 26	1	1	6	1	2		11	59.8	644		
	FLOOR 27	1	1	6	1	2		11	59.8	644		
	FLOOR 28	1	1	6	1	2		11	59.8	644		
	FLOOR 29	1	1	6	1	2		11	59.8	644		
	FLOOR 30	1	1	6	1	2		11	59.8	644		
	FLOOR 31	1	1	6	1	2		11	59.8	644		
	SUBTOTAL		16	47	148	29	59	43	4			
	TOTAL UNITS		16	195	88	47	346				63.5	683
UNIT MIX		4.6%	13.6%	42.8%	8.4%	17.1%	12.4%	1.2%	100.0%			
UNIT MIX TOTAL		4.6%	56.4%	25.4%	13.6%	100.0%						
AVG UNIT SIZE		40.1	43.2	59.9	63.8	72.2	91.4	94.9	m²			
AVG UNIT SIZE TOTAL		40.1	55.9	69.4	91.7	m²						

SALEABLE UNIT MIX PROVIDED

BLDG	FLOOR	SALEABLE UNIT MIX PROVIDED							TOTAL	AVG. UNIT SIZE	
		STUDIO	1B	1B+D	2B	2B+D	3B	3B+D		m²	ft²
TOWER A2	FLOOR 2	1	2	2	1	3	4	1	14	70.3	757
	FLOOR 3	1	2	2	1	3	4	1	14	70.3	757
	FLOOR 4	1	2	2	1	3	4	1	14	70.3	757
	FLOOR 5	1	2	2	1	3	4	1	14	70.3	757
	FLOOR 6	1	2	3	1	3	2		12	63.1	679
	FLOOR 8	2	5	1	1	2			11	61.8	666
	FLOOR 9	2	5	1	1	2			11	61.8	666
	FLOOR 10	2	5	1	1	2			11	61.8	666
	FLOOR 11	2	5	1	1	2			11	61.8	666
	FLOOR 12	2	5	1	1	2			11	61.8	666
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	FLOOR 15	2	5	1	1	2			11	61.8	666
	FLOOR 16	1	1	3	3	3			11	59.9	645
	FLOOR 17	1	1	3	3	3			11	59.9	645
	FLOOR 18	1	1	3	3	3			11	59.9	645
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	FLOOR 23	1	1	3	3	3			11	59.9	645
	FLOOR 24	1	1	3	3	3			11	59.9	645
	FLOOR 25	1	1	3	3	3			11	59.9	645
	FLOOR 26	1	1	3	3	3			11	59.9	645
	FLOOR 27	1	1	3	3	3			11	59.9	645
	FLOOR 28	1	1	3</							

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

DATE _____

D. A. WILTON
ONTARIO LAND SURVEYOR

PLAN 40R-

RECEIVED AND DEPOSITED

DATE _____

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF DURHAM (No. 40)

SCHEDULE

PART	PART OF LOT	CONCESSION	PART OF PIN
1	18	1	26330-0165 (LT)

PLAN OF SURVEY OF
PART OF LOT 18
CONCESSION 1
(GEOGRAPHIC TOWNSHIP OF PICKERING)
CITY OF PICKERING
REGIONAL MUNICIPALITY OF DURHAM

SCALE 1 : 250



SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
ONTARIO LAND SURVEYORS

BEARING NOTE

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF HIGHWAY 401 AS SHOWN ON PLAN 40R-20443, HAVING A BEARING OF N57°27'00"E.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND

DENOTES	
■	SURVEY MONUMENT FOUND
□	SURVEY MONUMENT PLANTED
WIT	WITNESS MONUMENT
SIB	STANDARD IRON BAR
SSIB	SHORT STANDARD IRON BAR
IB	IRON BAR
CC	CUT CROSS
N,S,E,W	NORTH, SOUTH, EAST, WEST
OU	ORIGIN UNKNOWN
MMI	MARSHALL MACKLIN MONAGHAN, O.L.S.
MTC	MINISTRY OF TRANSPORTATION AND COMMUNICATION
P	PLAN BY SPEIGHT, VAN NOSTRAND AND GIBSON, O.L.S. - DATED MAY 25, 2006
P1	PLAN 40R-20443

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY'S ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON _____.

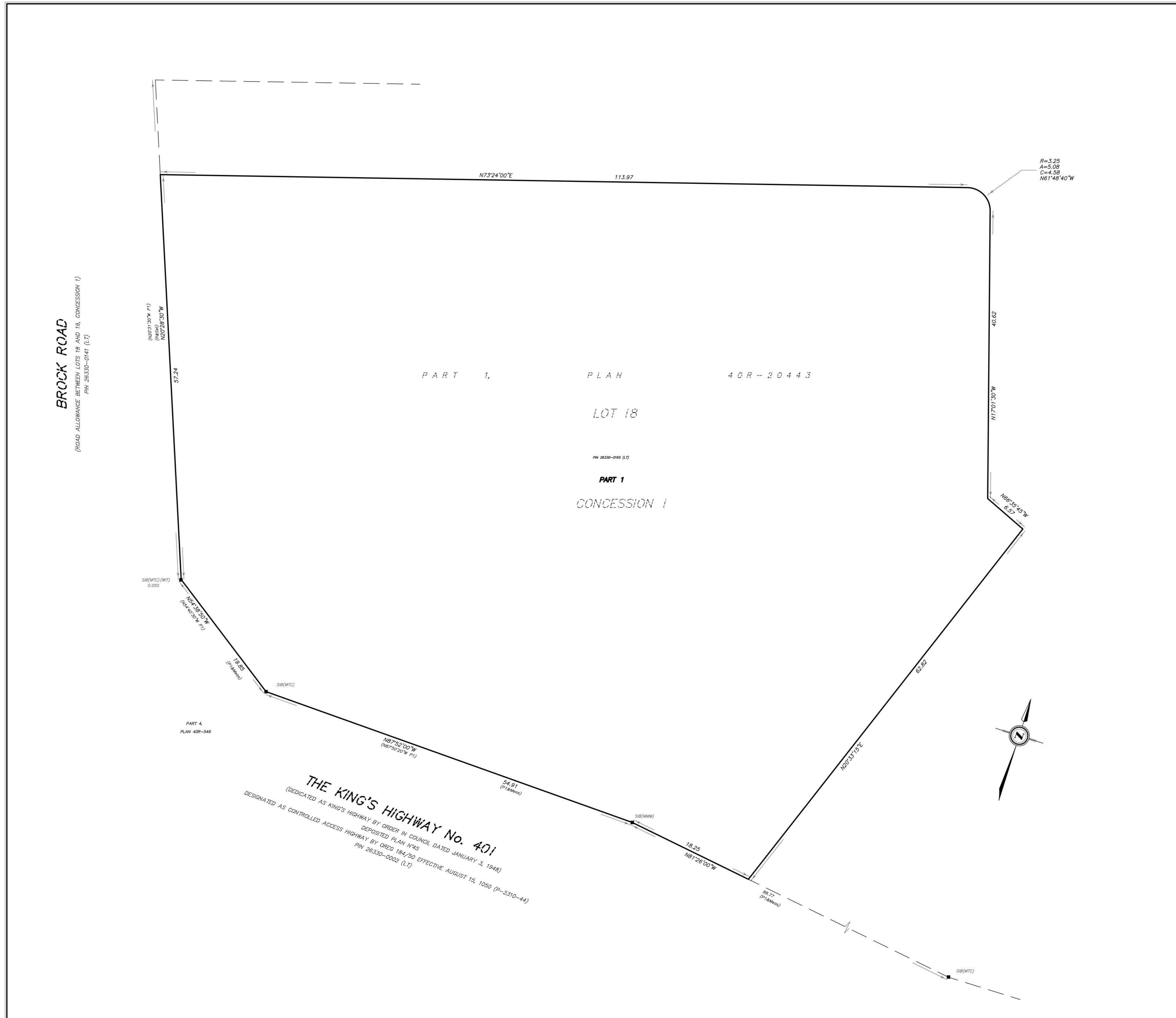
DATE _____

D. A. WILTON
ONTARIO LAND SURVEYOR

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
ONTARIO LAND SURVEYORS
750 OAKDALE ROAD, Units 65 & 66, TORONTO, ONTARIO M3N 2Z4
TEL. 416 749-SVNG(7864) FAX 416 749-7866
E-MAIL: toronto@svng.on.ca

DRAWN :	F. P. B./I. K.	JOB No. :	201-0202
CHECKED :	D. A. W.	REF. No. :	58-Con 1 Pickering

FILE NAME : R2010202.DWG PLOTTED :
PLOT SCALE : MET. 1=0.25 MET. 1=0.25 UPDATED :



THE KING'S HIGHWAY No. 401
(DEDICATED AS KING'S HIGHWAY BY ORDER IN COUNCIL DATED JANUARY 3, 1948)
DESIGNATED AS CONTROLLED ACCESS HIGHWAY BY OREG 194/50 EFFECTIVE AUGUST 15, 1950 (P-2310-44)
DEPOSITED PLAN NMS
PIN 26330-002 (LT)

58-Con 1 Pickering

#	DATE	DESCRIPTION	BY



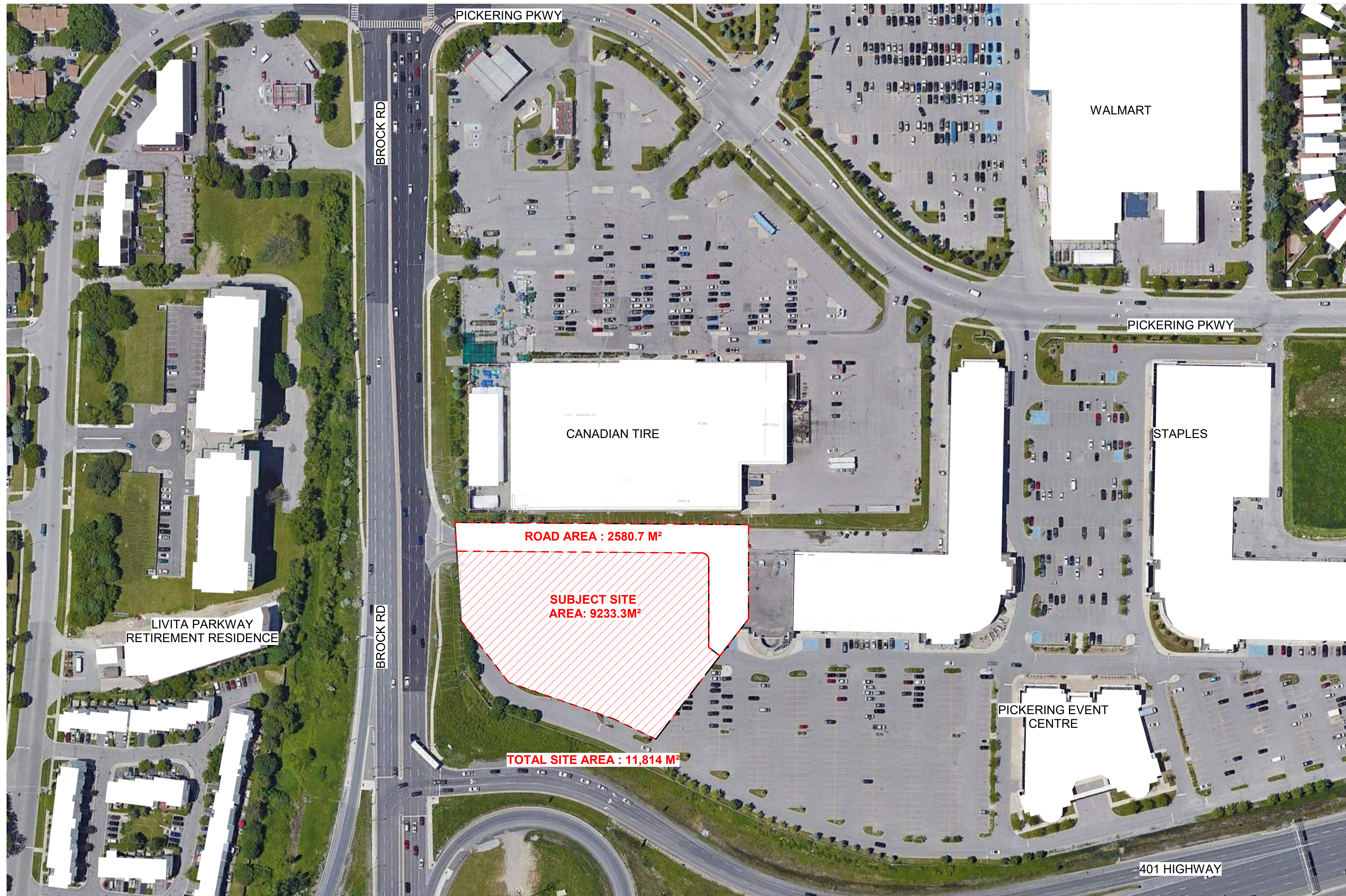
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
SURVEY

PROJECT NO.	06.03FRZ
PROJECT DATE	2022-05-12
DRAWN BY	TKA
CHECKED BY	Checker
SCALE	



DRAWING NO.
SPA003



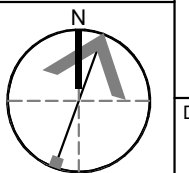
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
CONTEXT PLAN




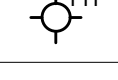
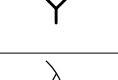
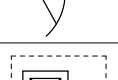
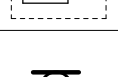
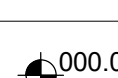
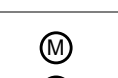

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
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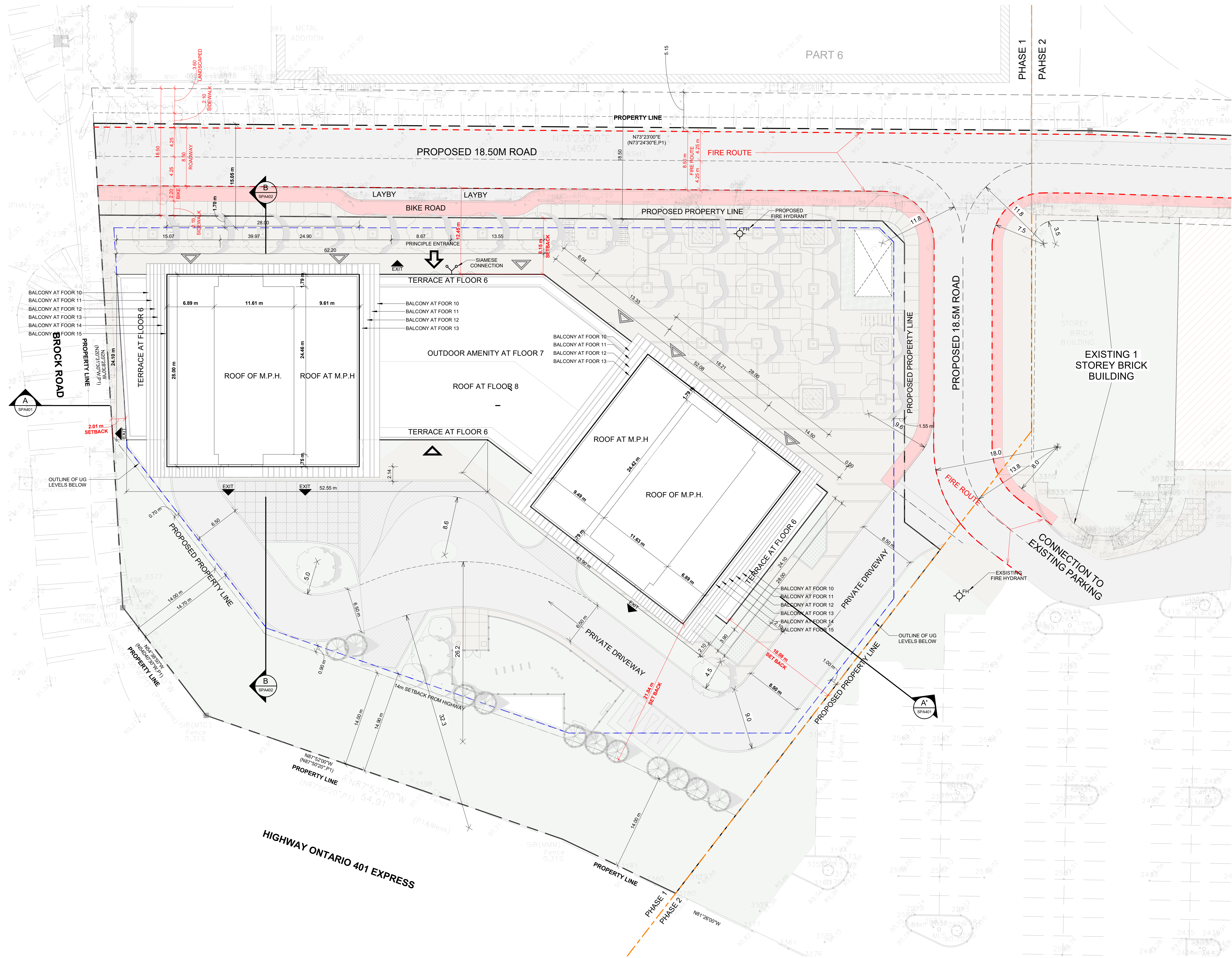


DRAWING NO.
SPA005

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LEGEND

-  PRIMARY RESIDENTIAL ENTRANCE
-  SECONDARY RESIDENTIAL ENTRANCE
-  RETAIL ENTRANCE
-  EXIT
-  FIRE HYDRANT
-  SIAMESE CONNECTION
-  CONVEX MIRROR
-  TRANSFORMER WITH CLEARANCES
-  FIRE ROUTE SIGN
-  0.000.00 SPOT ELEVATION
-  GAS/HYDRO METER



#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
SITE PLAN / ROOF PLAN

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
Checker
SCALE
As indicated



DRAWING NO.
SPA006

WASTE MANAGEMENT REQUIREMENTS - GENERAL NOTES

THE PROPOSED DEVELOPMENT WILL BE SERVED BY A GARAGE CHUTE WITHIN THE BUILDINGS WITH SEPERATE GARBAGE AND RECYCLING LOCATED ON THE GROUND FLOOR TO DIVERT GARBAGE AND RECYCLEABLE MATERIALS INTO SEPERATE BINS.

- PRIVATE COLLECTION WILL BE PROVIDED FOR COMMERCIAL WASTE MANAGEMENT
- MUNICIPAL COLLECTION WILL BE PROVIDED FOR THE RESIDENTIAL UNITS

THE PROPOSED WASTE COLLECTION AREAS WILL REQUIRE MOVEMENT OF BINS AND ROLL-AWAY CARTS BY PROPERTY MANAGEMENT DURING WASTE COLLECTION. AS SUCH:

- PROPERTY MANAGEMENT IS RESPONSIBLE FOR MOVING BINS DURING COLLECTION TO STAGING AREA
- GARBAGE TO BE TRACTORED FROM GARBAGE ROOMS TO STAGING AREA

SOLID WASTE MANAGEMNET REQUIREMENTS (CITY OF PICKERING)

- A FRONT END GARBAGE BIN WITH A CAPACITY OF ONE CUBIC YARD PER TEN (10) RESIDENTIAL UNITS
- ROLLOUT RECYCLING CART, ONE 95 GALLON CART FOR EVERY 7 UNITS

TOWER A1

GARBAGE

346 UNITS/40 (NUMBER OF UNITS PER BIN) = 9 BINS (4 CUBIC YARDS)

RECYCLING

346 UNITS/7 (NUMBER OF UNITS PER CART)= 49 BINS (95 GALLON)

TOWER A2

GARBAGE

332 UNITS/40 (NUMBER OF UNITS PER BIN) = 8 BINS (4 CUBIC YARDS)

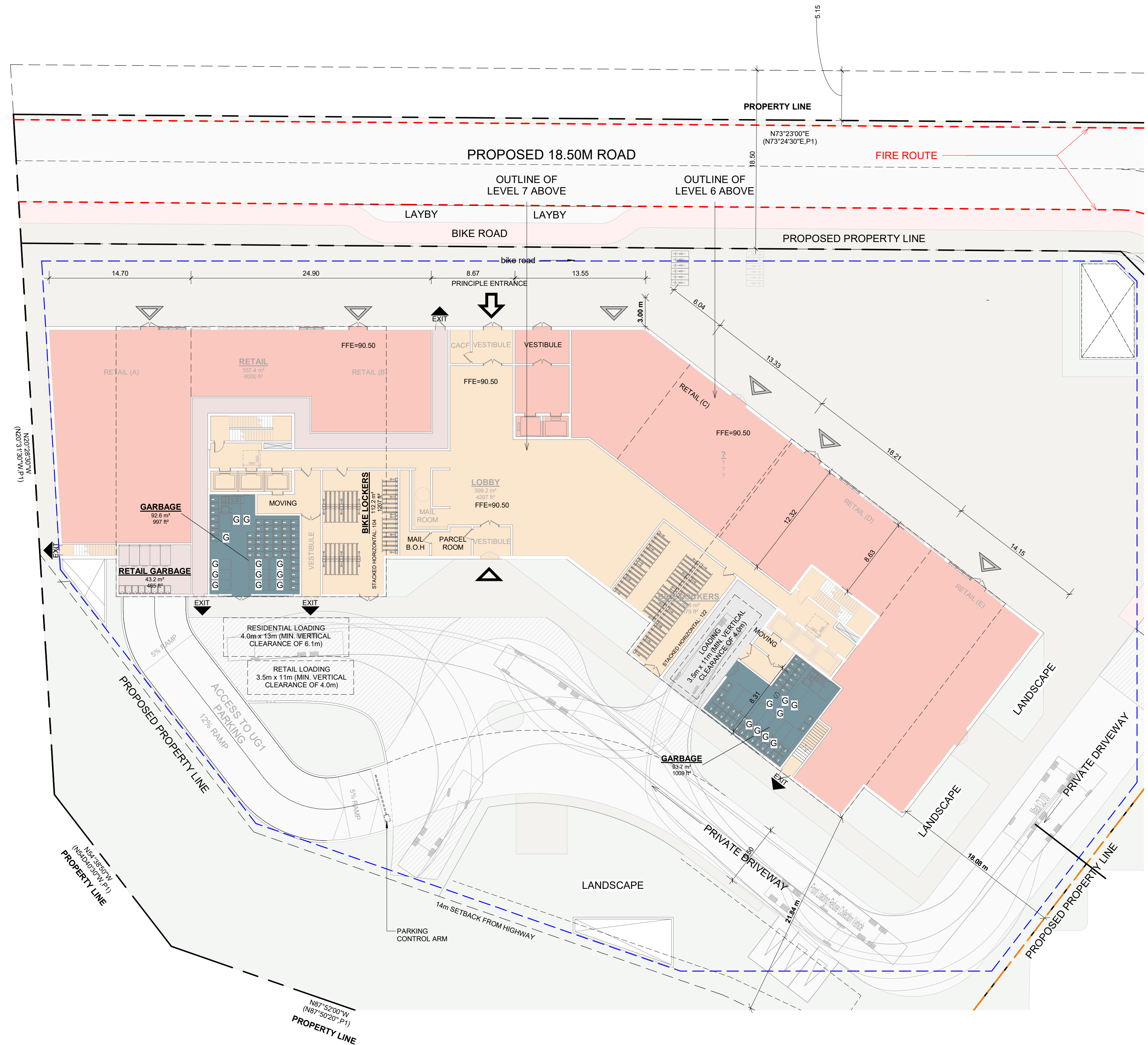
RECYCLING

332 UNITS/7 (NUMBER OF UNITS PER CART)= 47 BINS (95 GALLON)

TOTAL NUMBER OF UNITS = 678

TOTAL NUMBER OF GARBAGE BINS = 17 (4 CUBIC YARD BINS)

TOTAL NUMBER OF RECYCLING BINS = 96 (96 GALLON CARTS)



**TOWER A1
31 STOREYS**

**TOWER A2
31 STOREYS**

#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

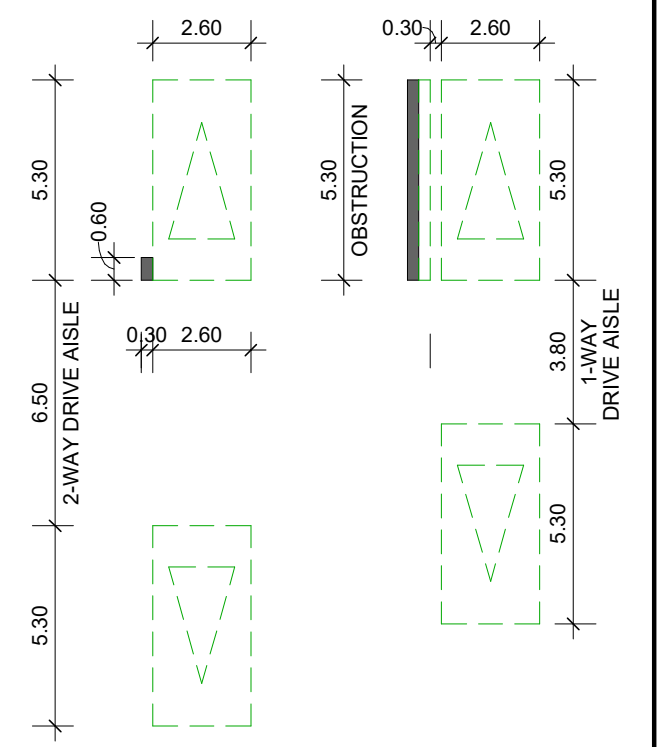
DRAWING
RESIDENTIAL SOLID WASTE MANAGEMENT

PROJECT NO. 06.037RZ	
PROJECT DATE 2022-05-12	
DRAWN BY TKA	
CHECKED BY AYU	
SCALE 1 : 250	

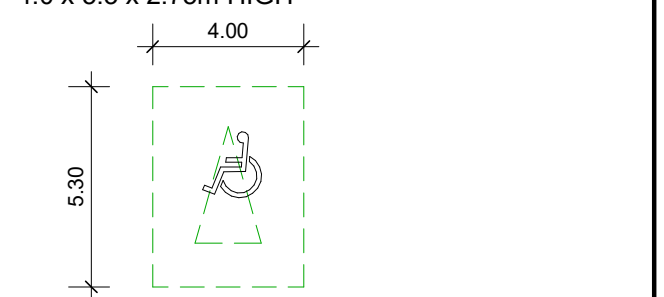
DRAWING NO.
SPA008

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from their work.

TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED):
2-WAY AISLE WIDTH: MIN. 6.50m
1-WAY AISLE WIDTH: MIN. 3.80m
TYPICAL PARKING SPACE: MIN 2.60 x 5.30m
PARALLEL PARKING SPACE: MIN 2.60 x 5.30m



TYPICAL BARRIER-FREE SPACE MIN.
4.0 x 5.3 x 2.75m HIGH



CONVEX MIRROR

#	DATE	DESCRIPTION	BY
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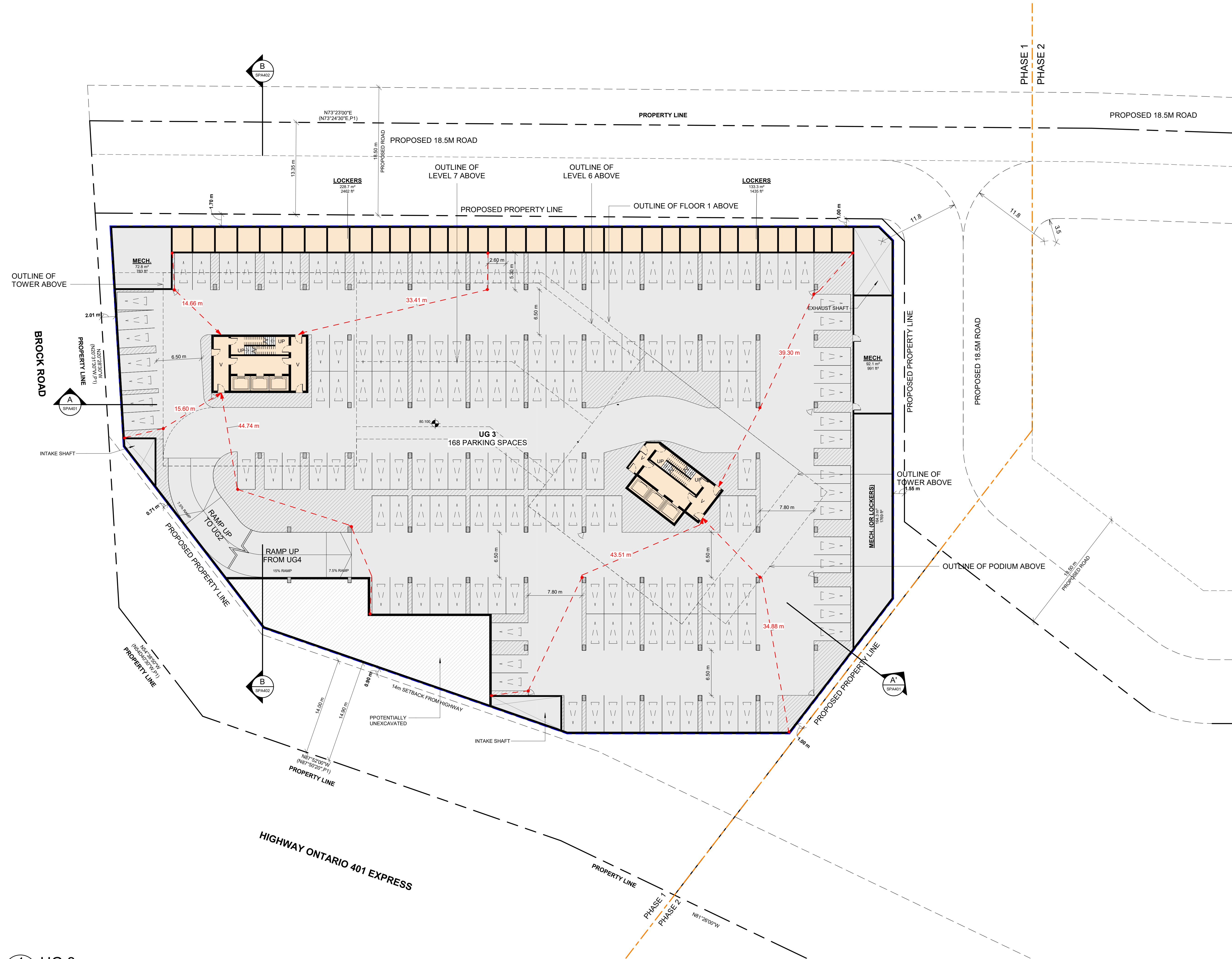
PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
UNDERGROUND LEVEL 03

PROJECT NO. 06.037RZ
PROJECT DATE 2022-05-12
DRAWN BY TKA
CHECKED BY AYU
SCALE As indicated



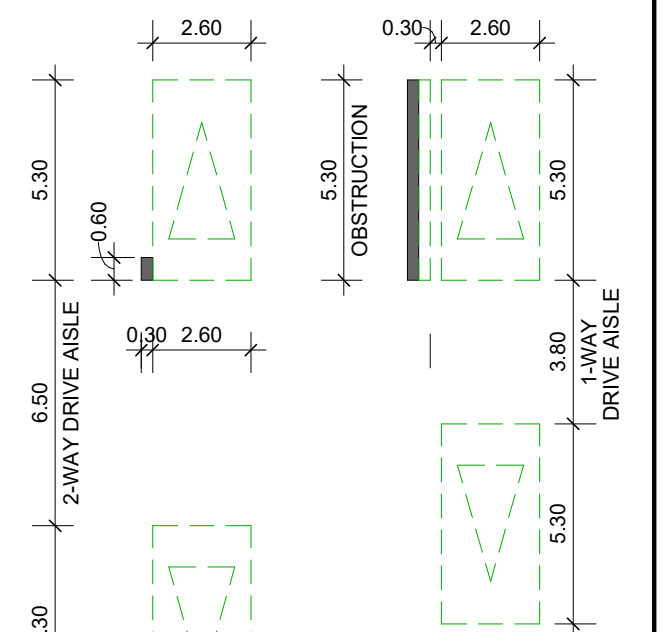
DRAWING NO. SPA102



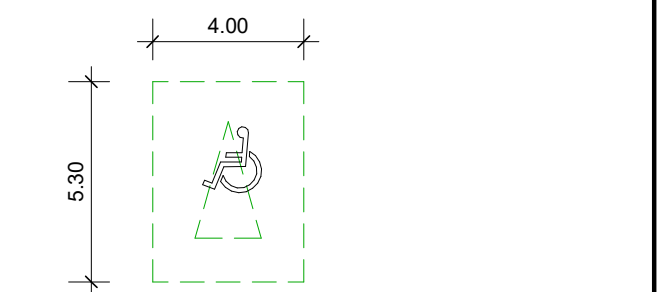
1 UG 3
SPA102 1 : 250

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from their work.

TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED):
 2-WAY AISLE WIDTH: MIN. 6.50m
 1-WAY AISLE WIDTH: MIN. 3.80m
 TYPICAL PARKING SPACE: MIN 2.60 x 5.30m
 PARALLEL PARKING SPACE: MIN 2.60 x 5.30m



TYPICAL BARRIER-FREE SPACE MIN. 4.0 x 5.3 x 2.75m HIGH



CONVEX MIRROR

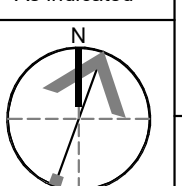
#	DATE	DESCRIPTION	BY
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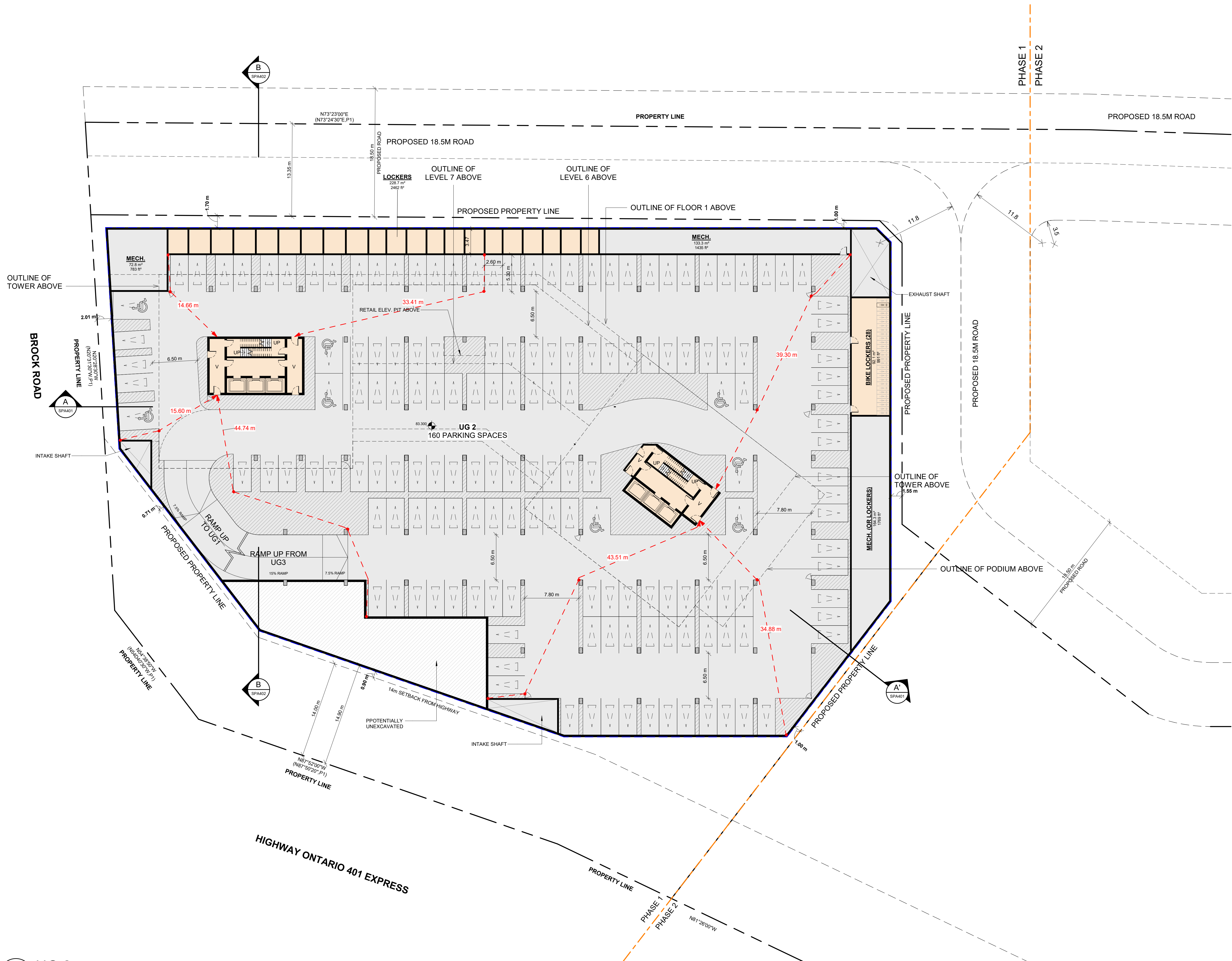
PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
 1775 PICKERING PARKWAY
 PICKERING, ON.

DRAWING
UNDERGROUND LEVEL 02

PROJECT NO.
06.037RZ
 PROJECT DATE
2022-05-12
 DRAWN BY
TKA
 CHECKED BY
AYU
 SCALE
As indicated



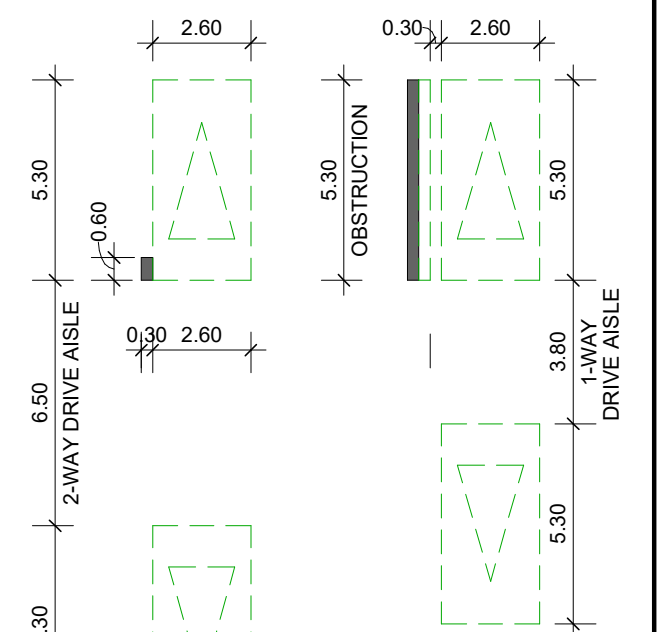
DRAWING NO.
SPA103



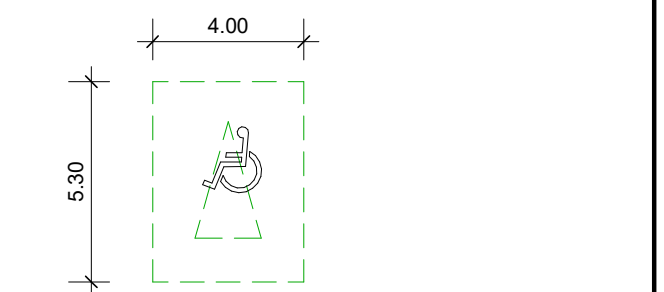
1 UG 2
 SPA103 1 : 250

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from their work.

TYPICAL DIMENSIONS (UNLESS OTHERWISE NOTED):
 2-WAY AISLE WIDTH: MIN. 6.50m
 1-WAY AISLE WIDTH: MIN. 3.80m
 TYPICAL PARKING SPACE: MIN 2.60 x 5.30m
 PARALLEL PARKING SPACE: MIN 2.60 x 5.30m



TYPICAL BARRIER-FREE SPACE MIN. 4.0 x 5.3 x 2.75m HIGH



CONVEX MIRROR

#	DATE	DESCRIPTION	BY
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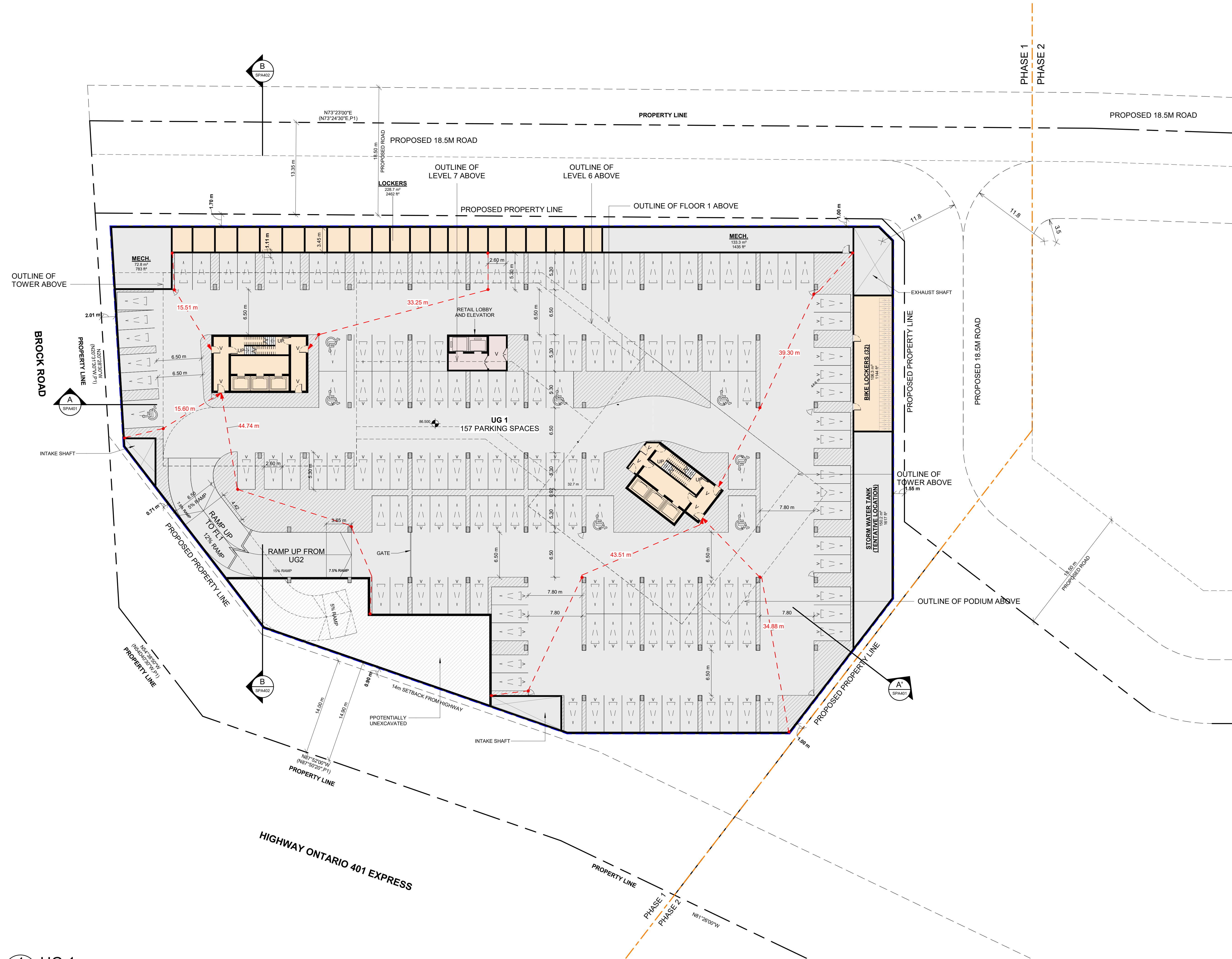
PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
 1775 PICKERING PARKWAY
 PICKERING, ON.

DRAWING
UNDERGROUND LEVEL 01

PROJECT NO.
06.037RZ
 PROJECT DATE
2022-05-12
 DRAWN BY
TKA
 CHECKED BY
AYU
 SCALE
As indicated



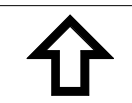

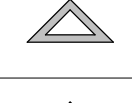
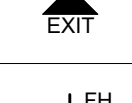
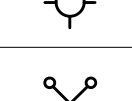
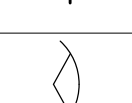
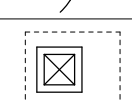
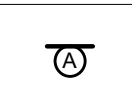
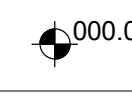


DRAWING NO.
SPA104

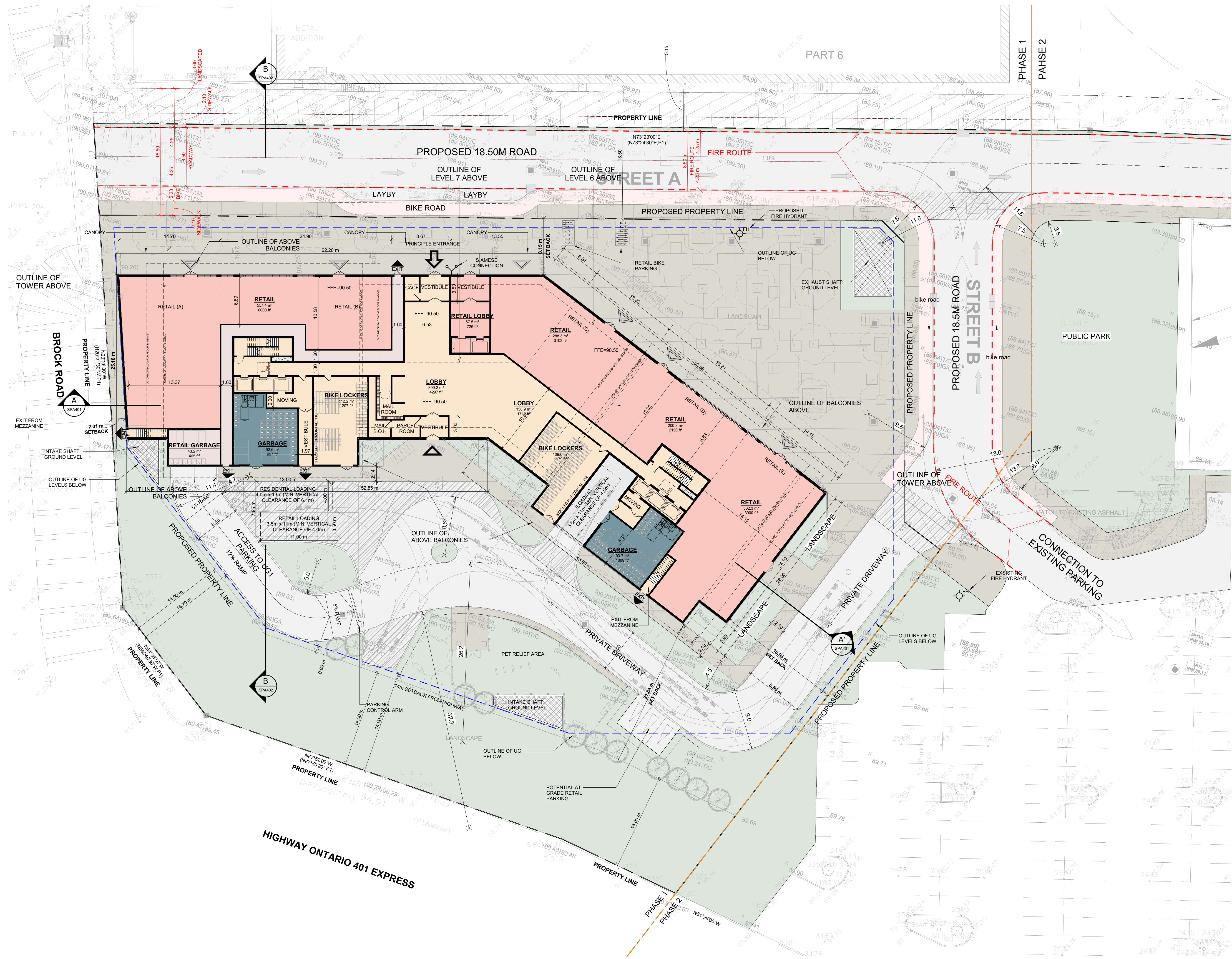


1 UG 1
 SPA104 1 : 250

This drawing is an instrument of service, it is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the accepted information. The drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

LEGEND

-  PRIMARY RESIDENTIAL ENTRANCE
-  SECONDARY RESIDENTIAL ENTRANCE
-  RETAIL ENTRANCE
-  EXIT
-  FIRE HYDRANT
-  SIAMESE CONNECTION
-  CONVEX MIRROR
-  TRANSFORMER WITH CLEARANCES
-  FIRE ROUTE SIGN
-  0.000.00 SPOT ELEVATION
-  GAS/HYDRO METER



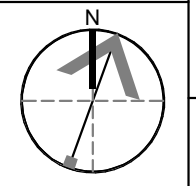
#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
FLOOR 01

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA151

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



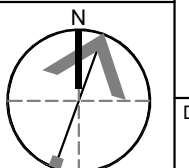
#	DATE	DESCRIPTION	BY
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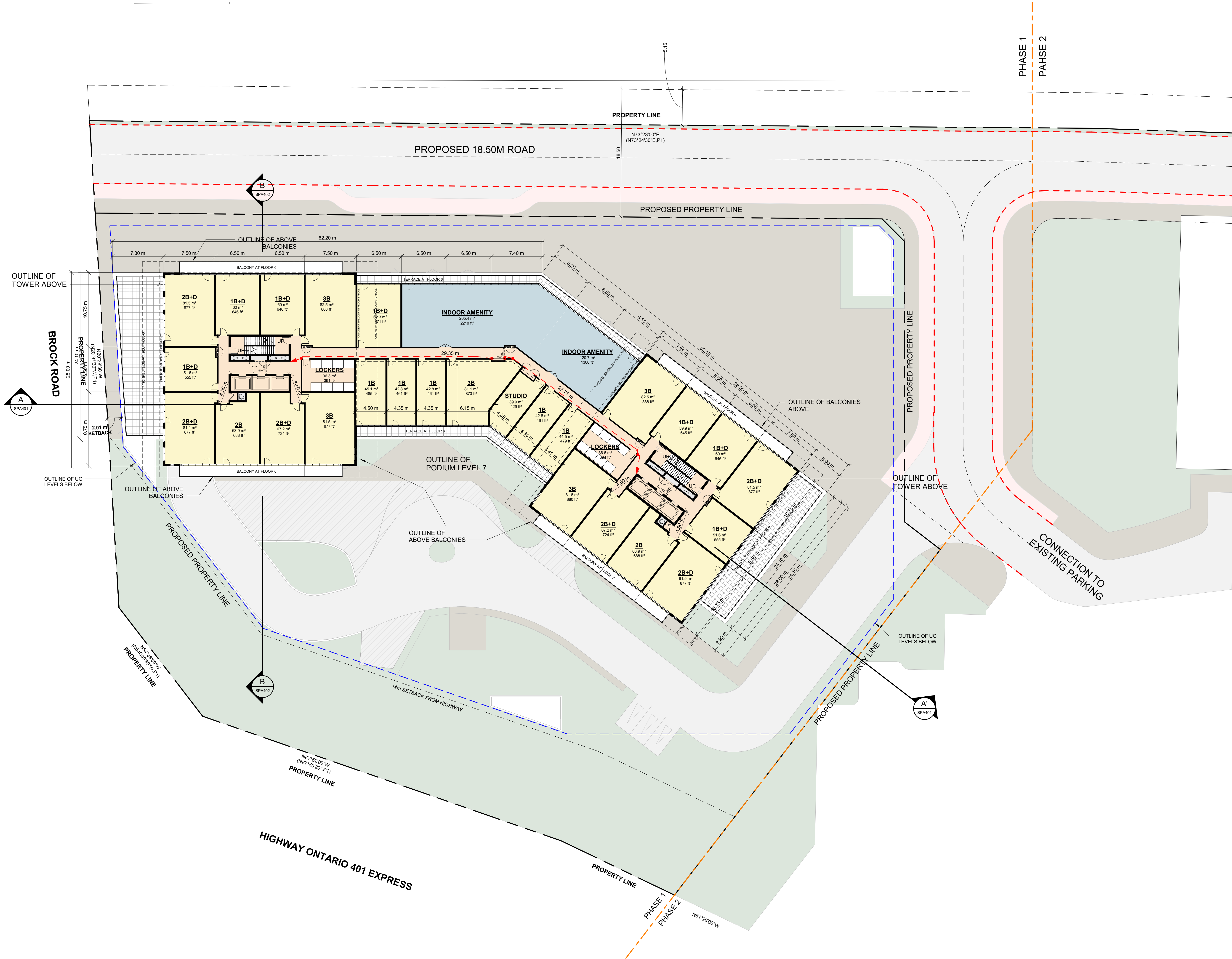
PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
FLOOR 02 - 05

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA152



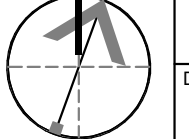
#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE
(BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

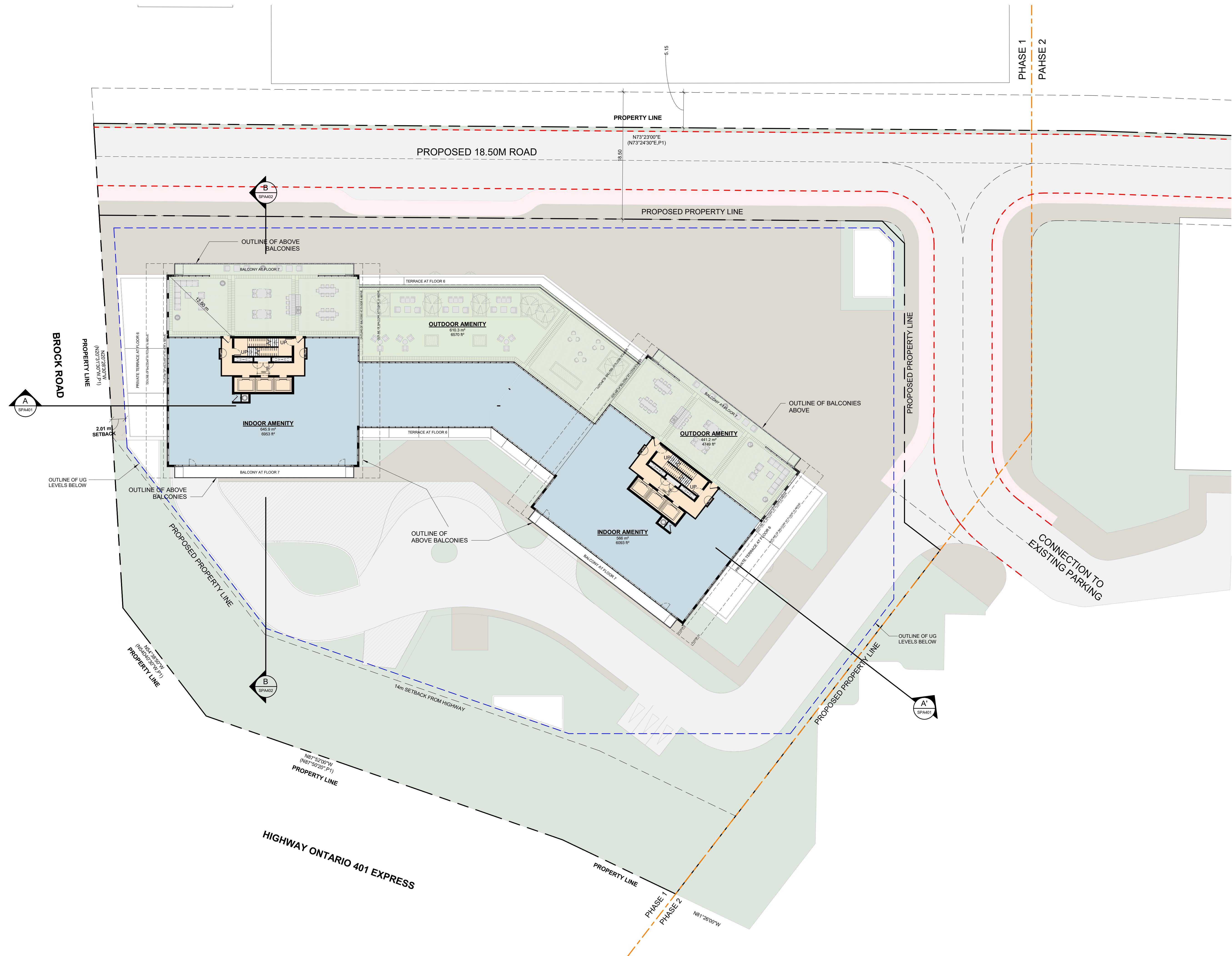
DRAWING
FLOOR 06

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA153

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



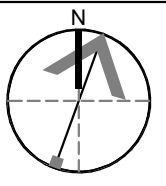
#	DATE	DESCRIPTION	BY
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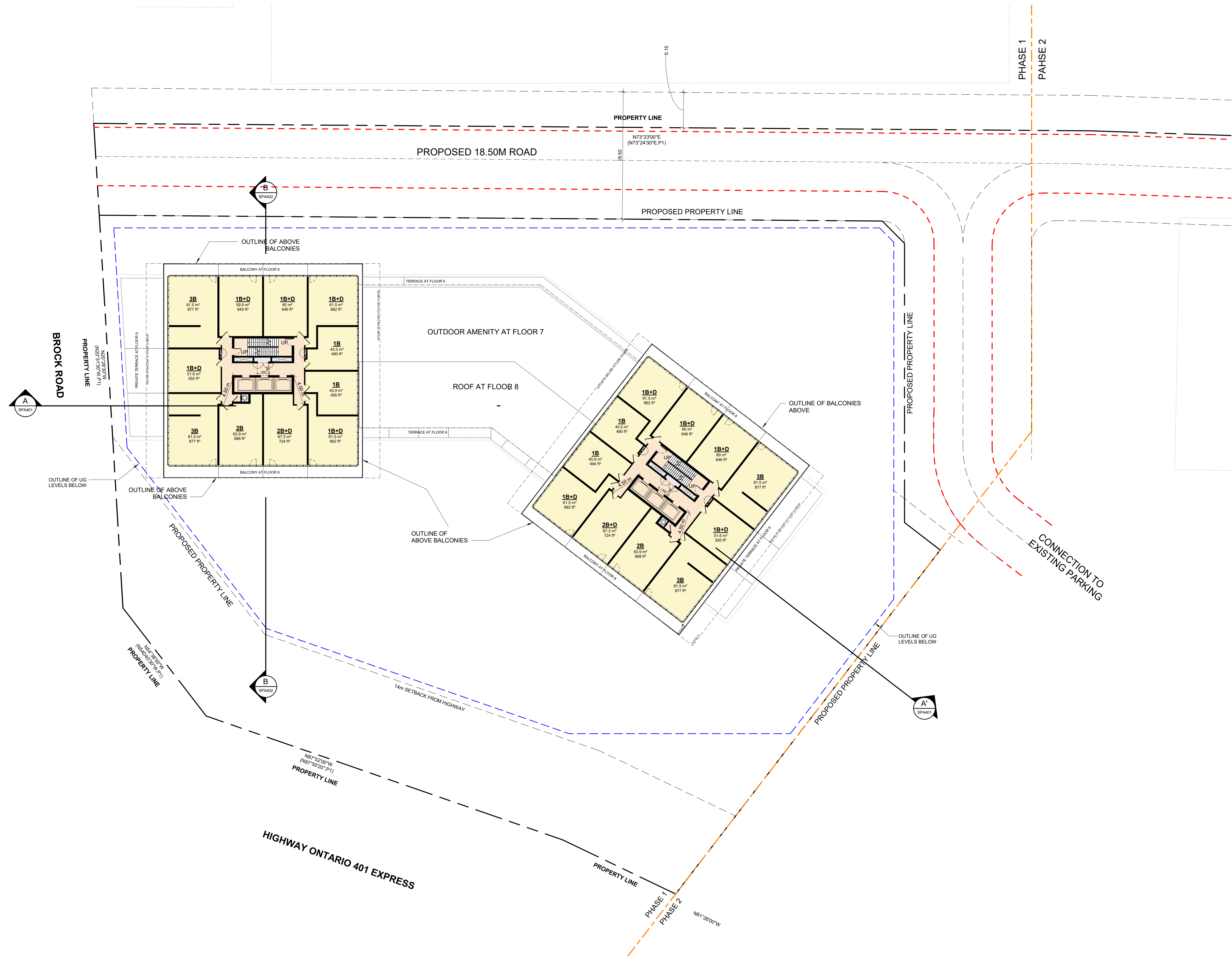
PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
FLOOR 07

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA154



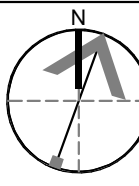
#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

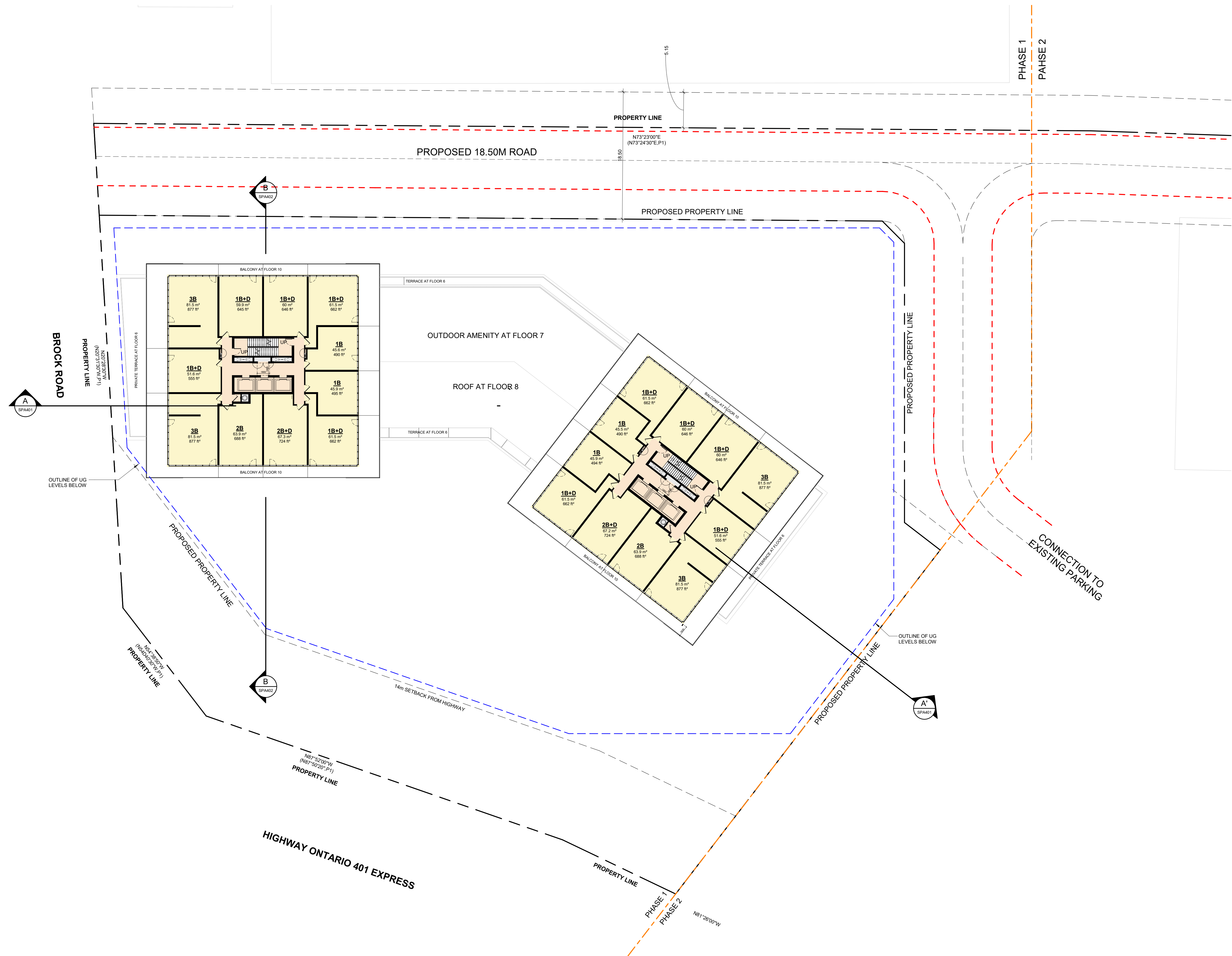
DRAWING
FLOOR 08 - 09

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA155

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



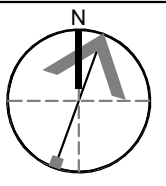
#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

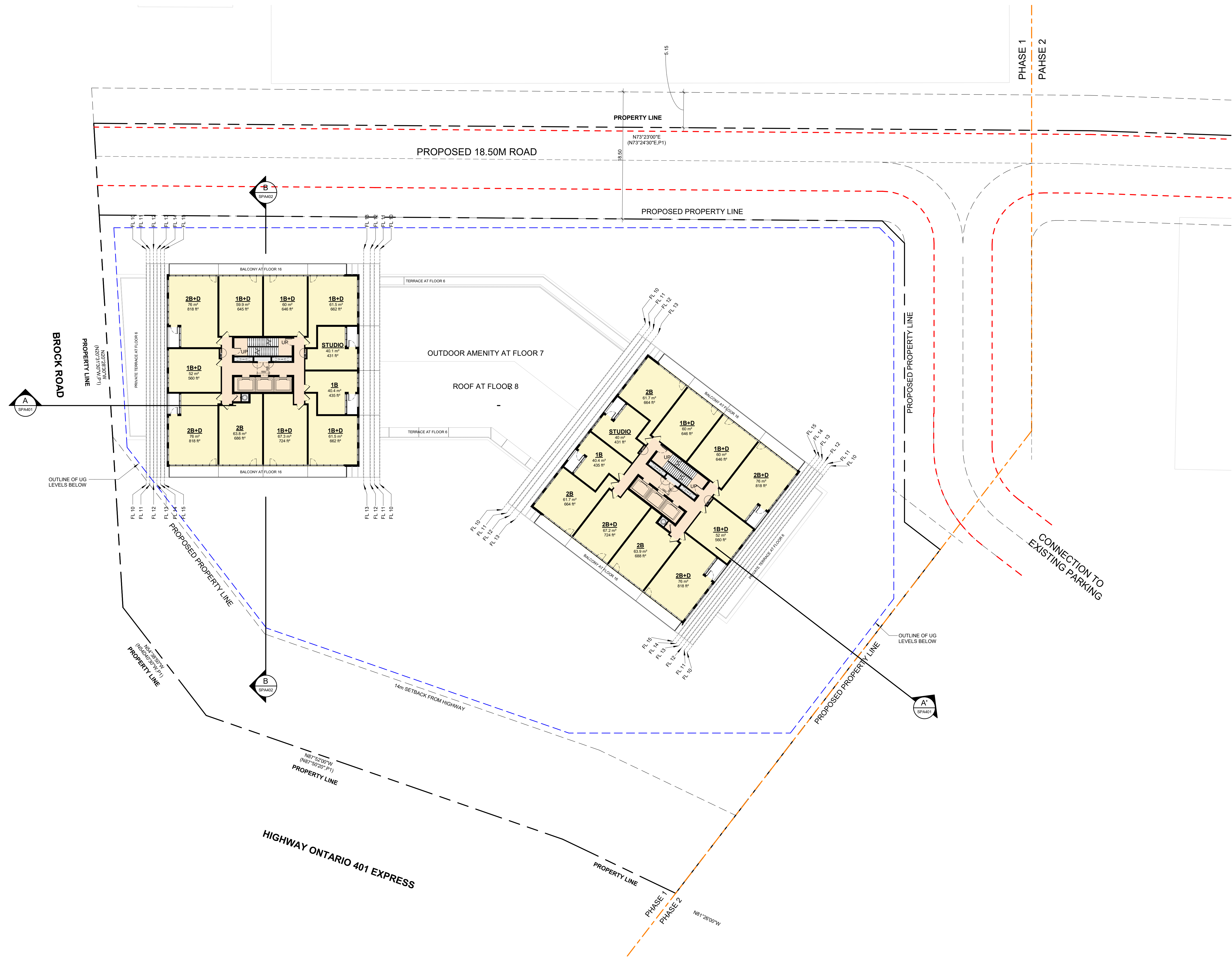
DRAWING
FLOOR 10 - 15

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA156

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

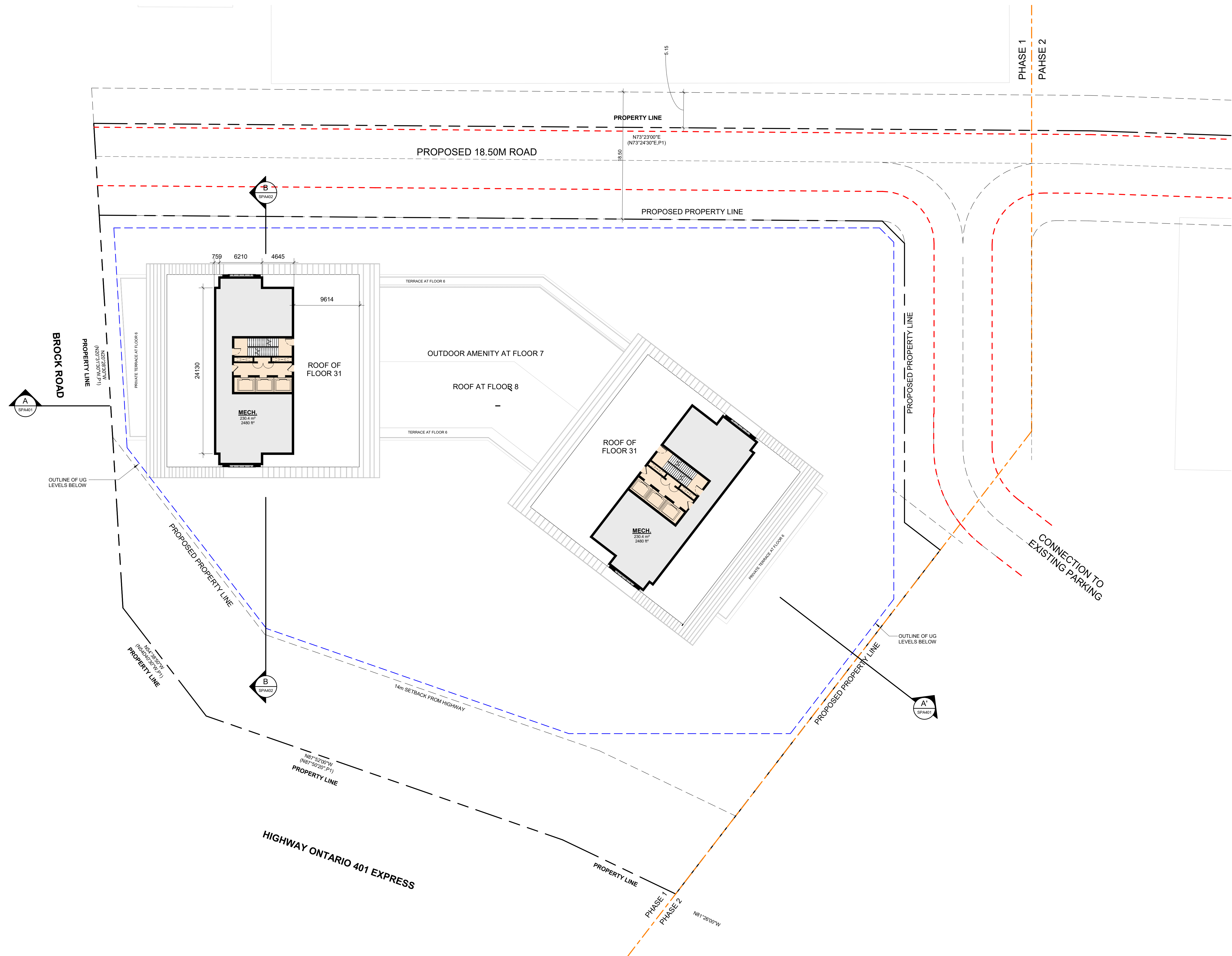
DRAWING
FLOOR 16 - 31 (TYPICAL)

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA156B

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authority having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



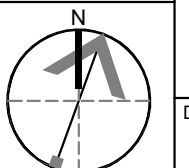
#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

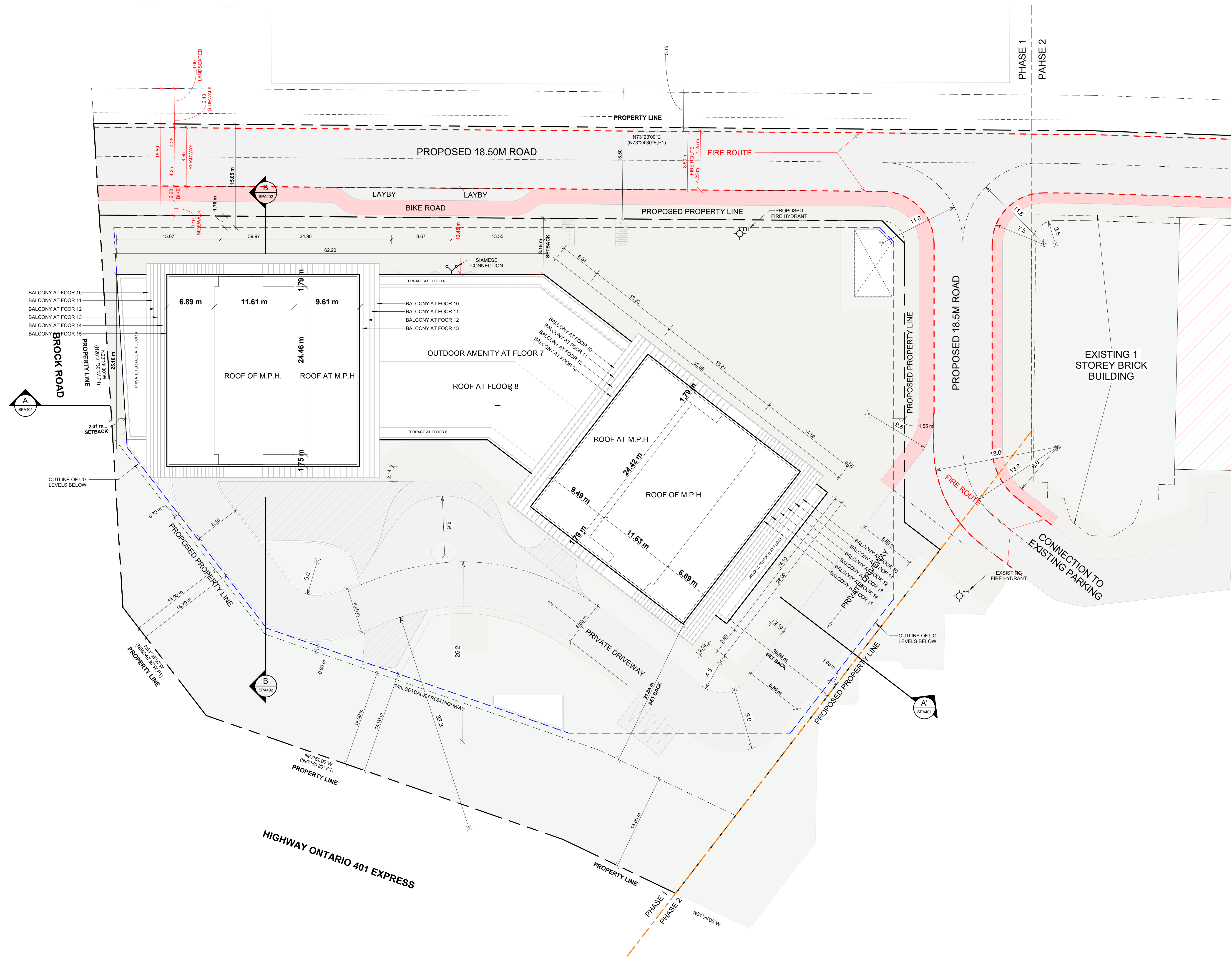
DRAWING
M.P.H.

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250



DRAWING NO.
SPA157

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
ROOF PLAN

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1 : 250

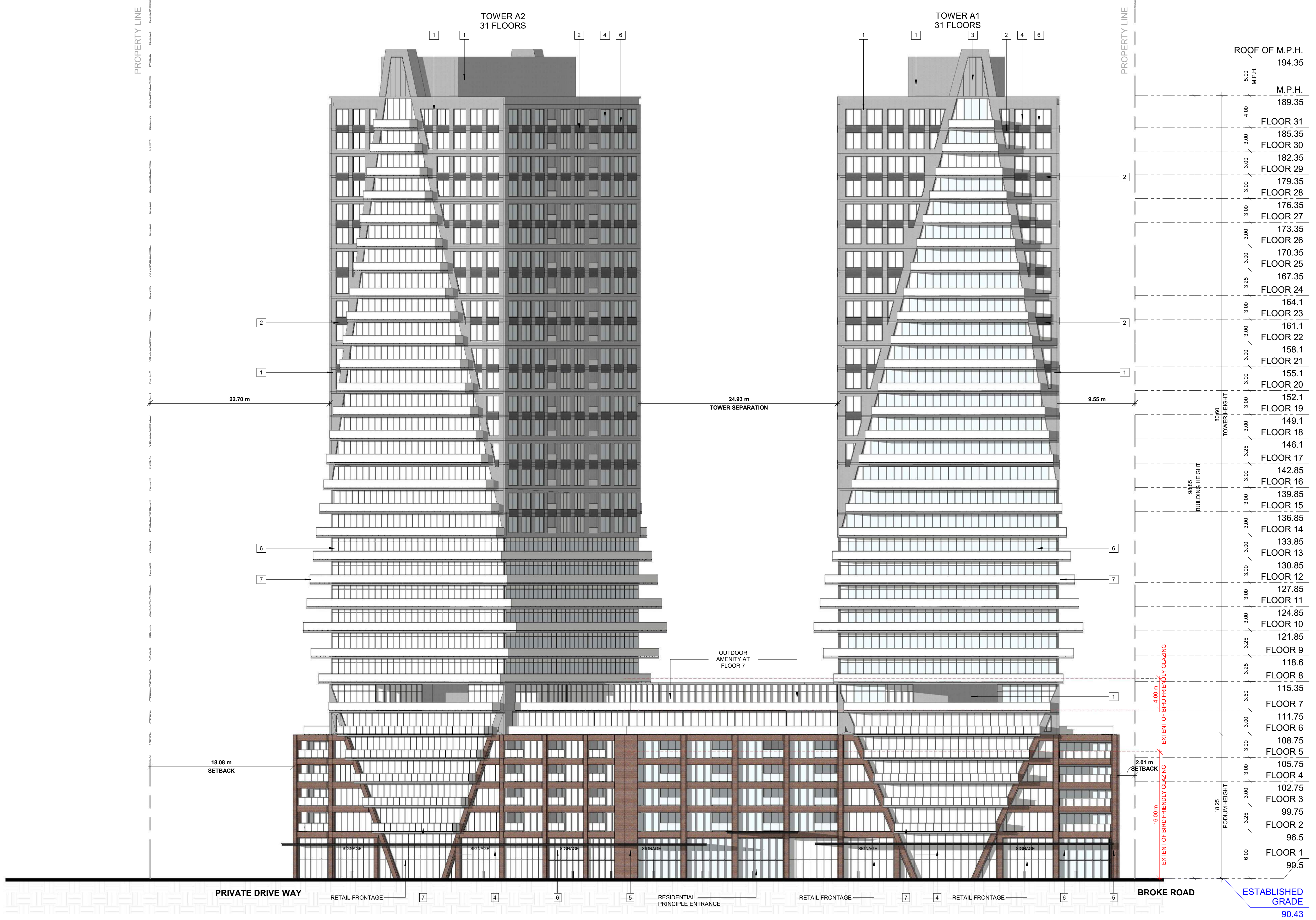


DRAWING NO.
SPA158

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of all relevant building jurisdictions. The contractor working from drawings not specifically marked "for Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

EXTERIOR FINISH LEGEND

1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING



#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

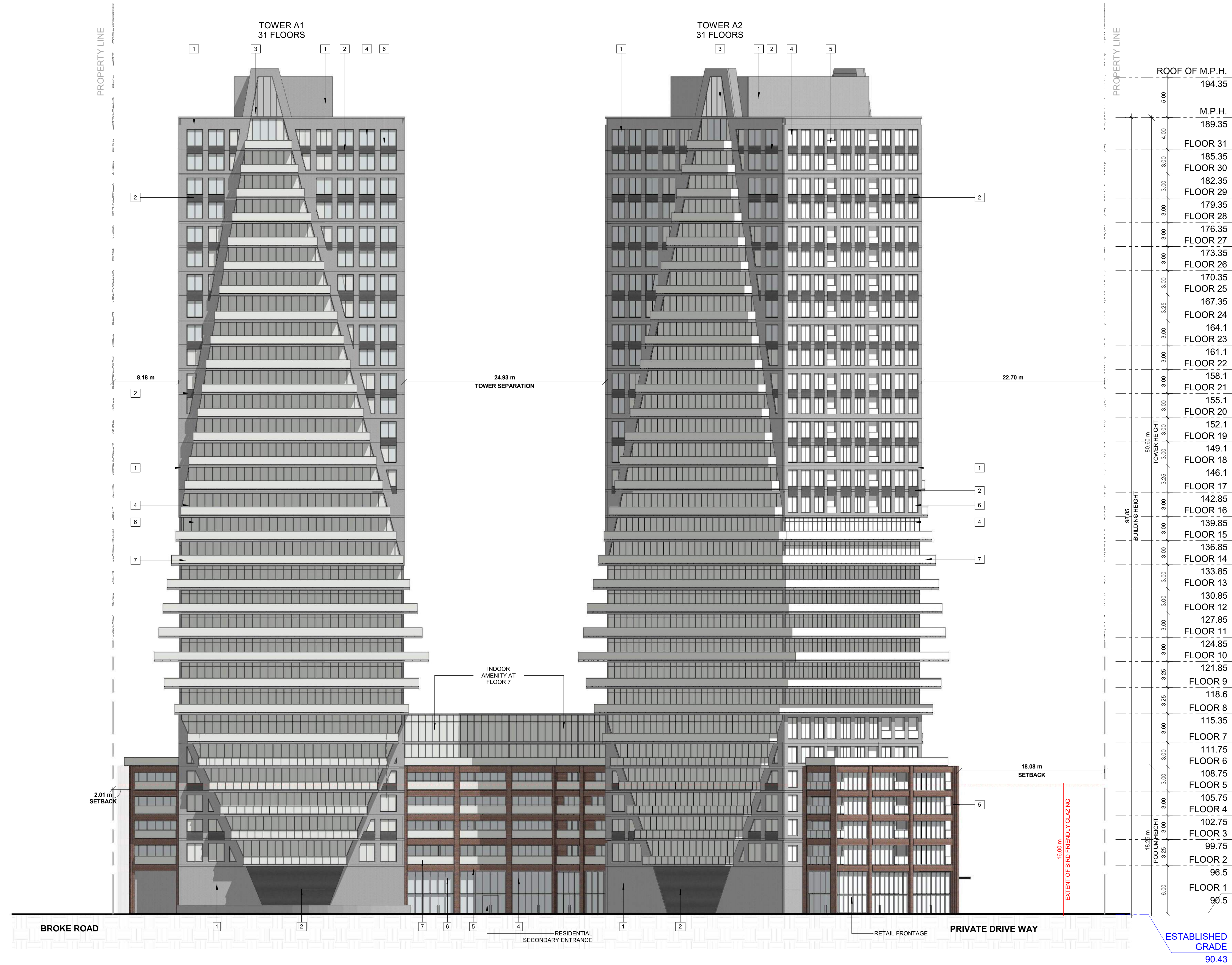
DRAWING
NORTH ELEVATION

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA301

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultant drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "For Contractor" must assume full responsibility and bear costs for any corrections or damages resulting from his work.



EXTERIOR FINISH LEGEND	
1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING

#	DATE	DESCRIPTION	BY



PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

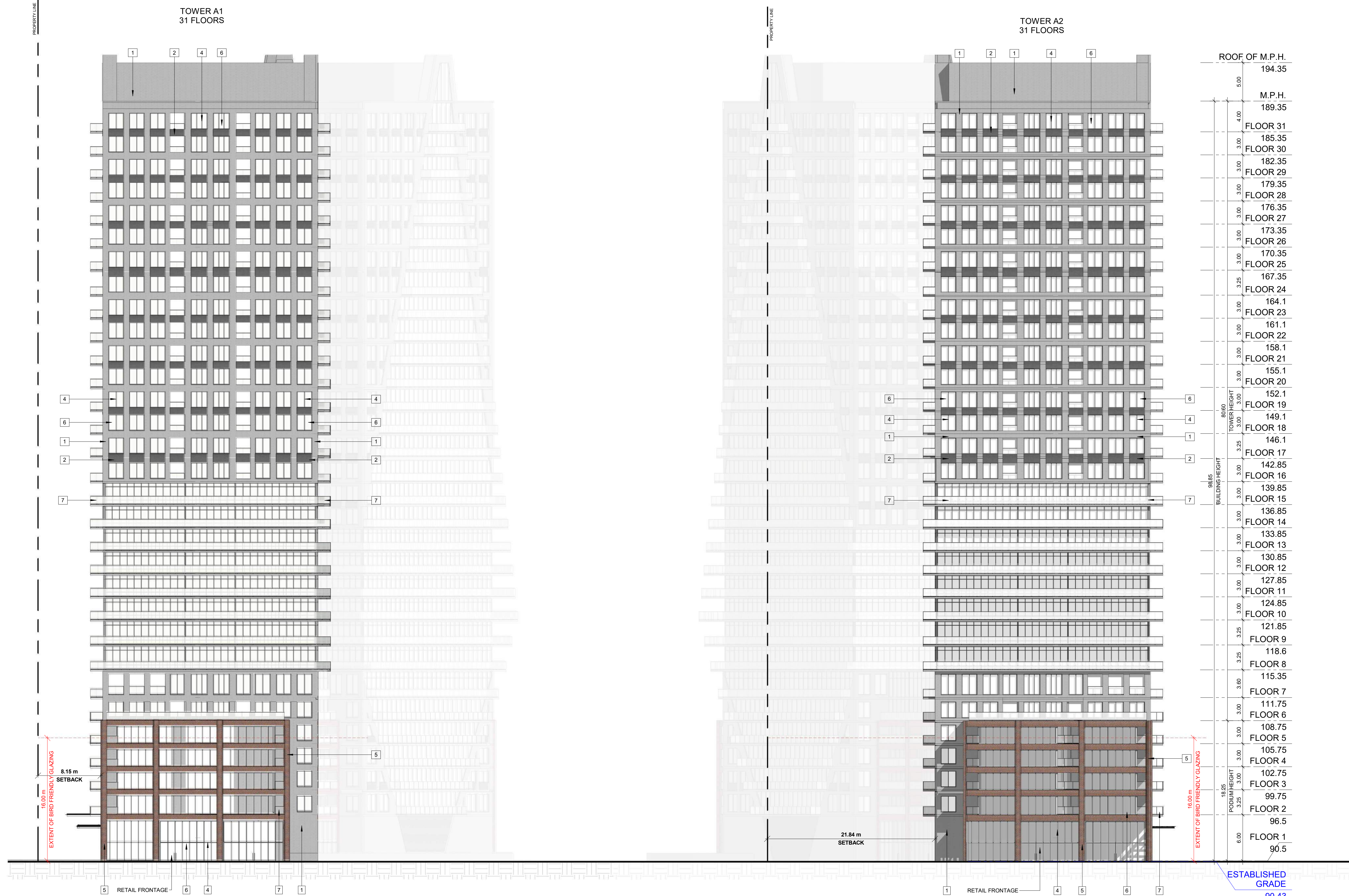
DRAWING
SOUTH ELEVATION

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA302

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the appropriate consultants drawings before proceeding with the work. Contractor must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for Contractor must assume full responsibility and bear costs for any corrections or damages resulting from his work.



EXTERIOR FINISH LEGEND	
1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING

2 West Elevation
SPA303 1 : 250

1 South East Elevation
SPA303 1 : 250

#	DATE	DESCRIPTION	BY



PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

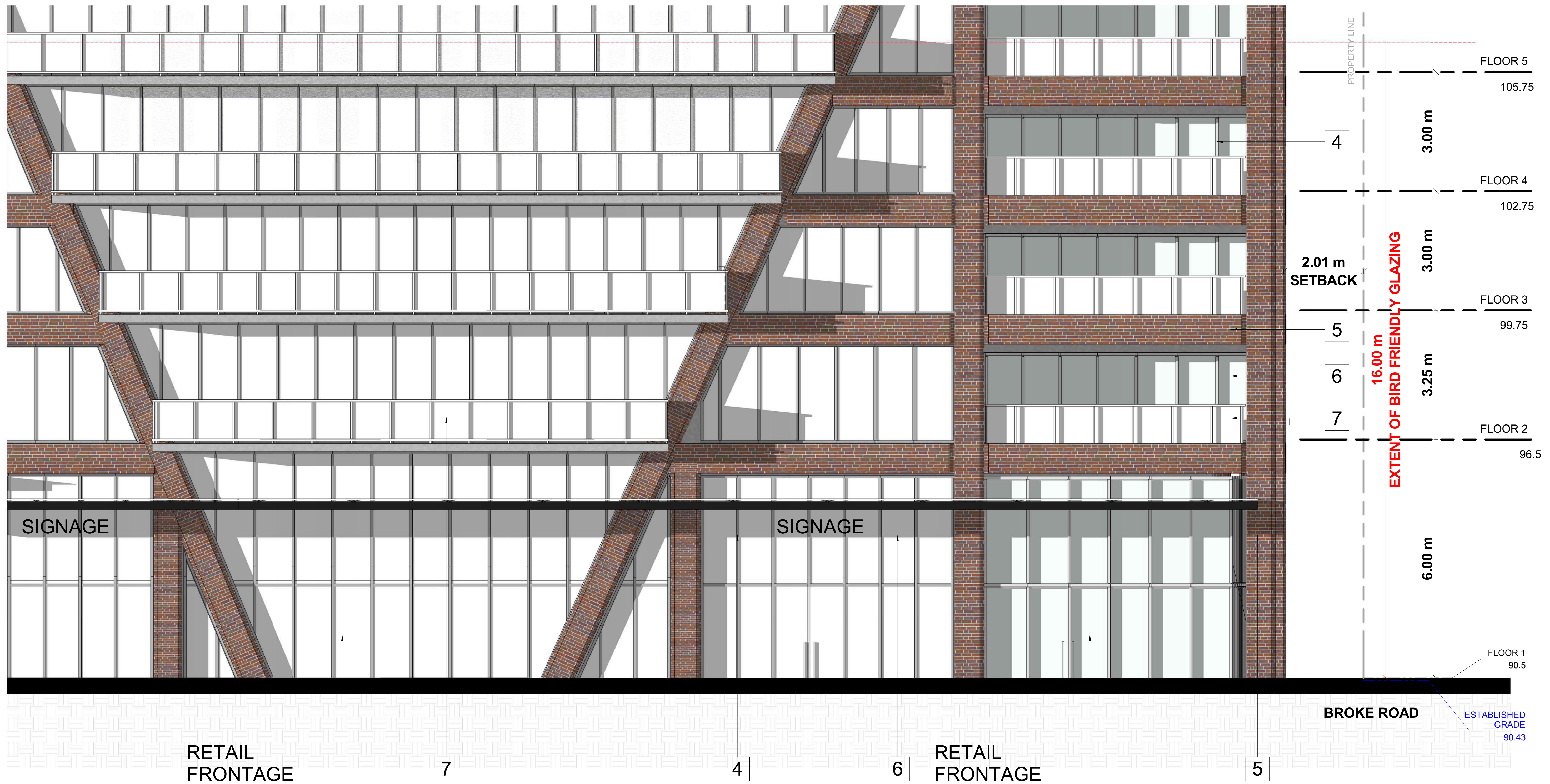
DRAWING
EAST AND WEST ELEVATIONS

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated



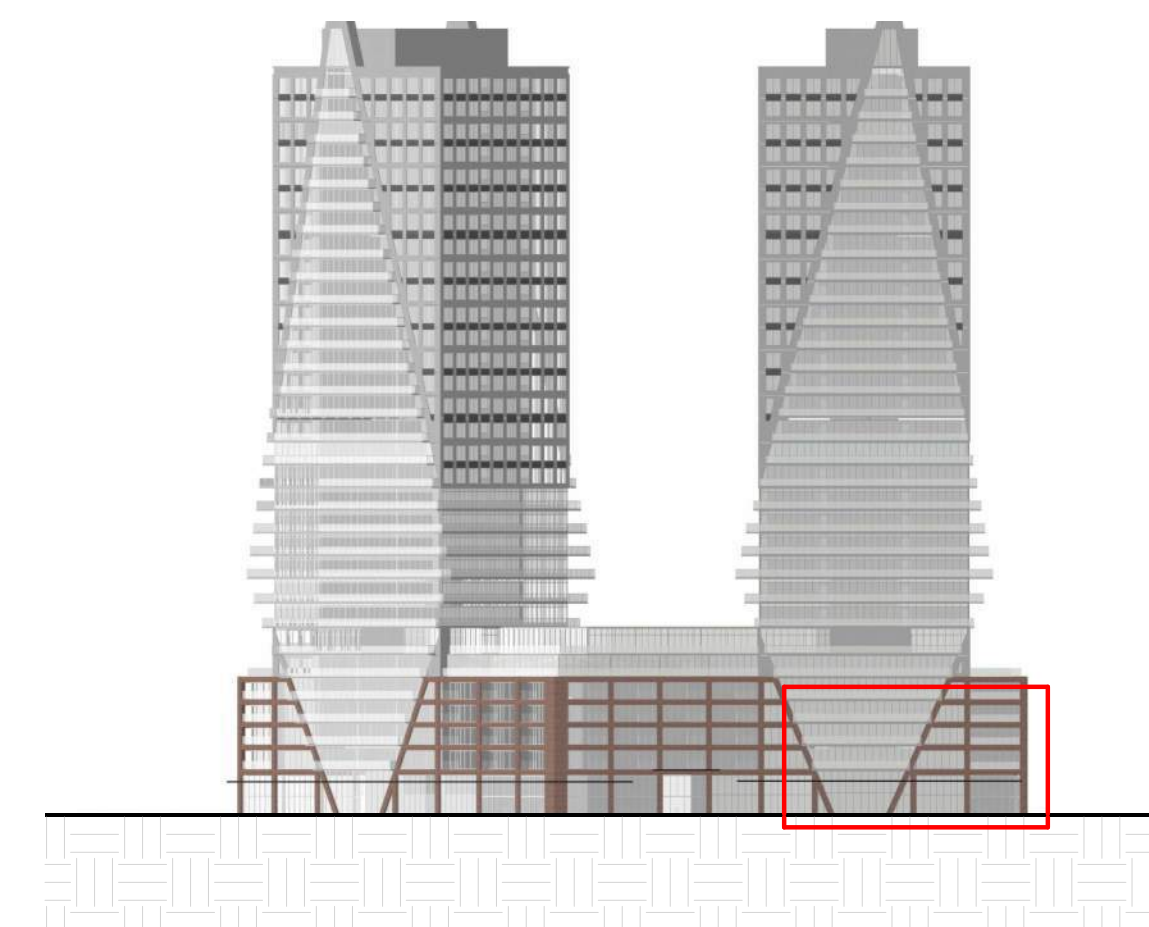
DRAWING NO.
SPA303

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EXTERIOR FINISH LEGEND	
1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING

1 Detailed North Elevation P1
SPA311 1 : 50



#	DATE	DESCRIPTION	BY



PROJECT
**PICKERING DESIGN CENTRE
(BLOCK 1)**
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA311

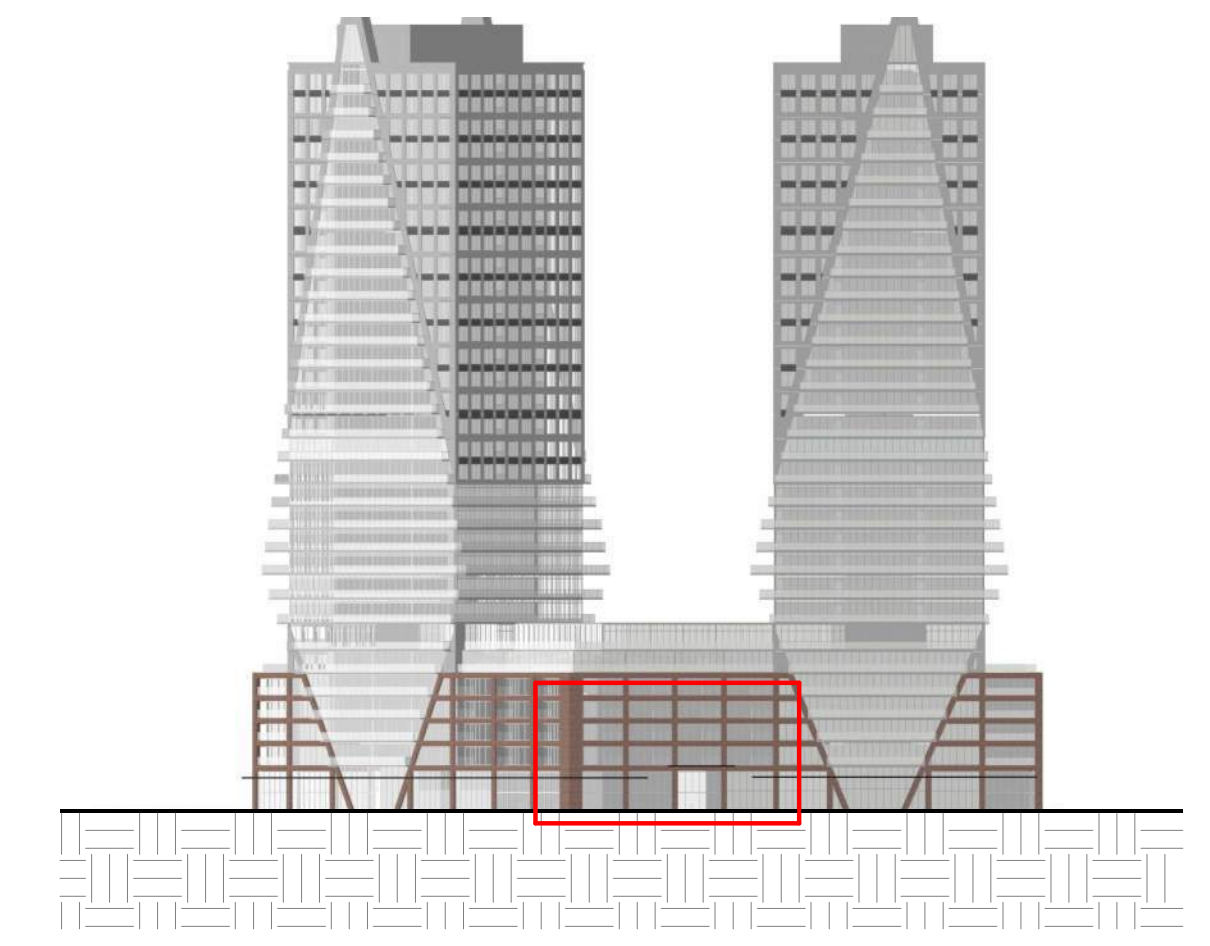
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EXTERIOR FINISH LEGEND	
1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING



1 Detailed North Elevation P2
SPA312 1 : 50



#	DATE	DESCRIPTION	BY

BAYFIELD
Realty Advisors Inc.

PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
1 TO 50 ELEVATIONS

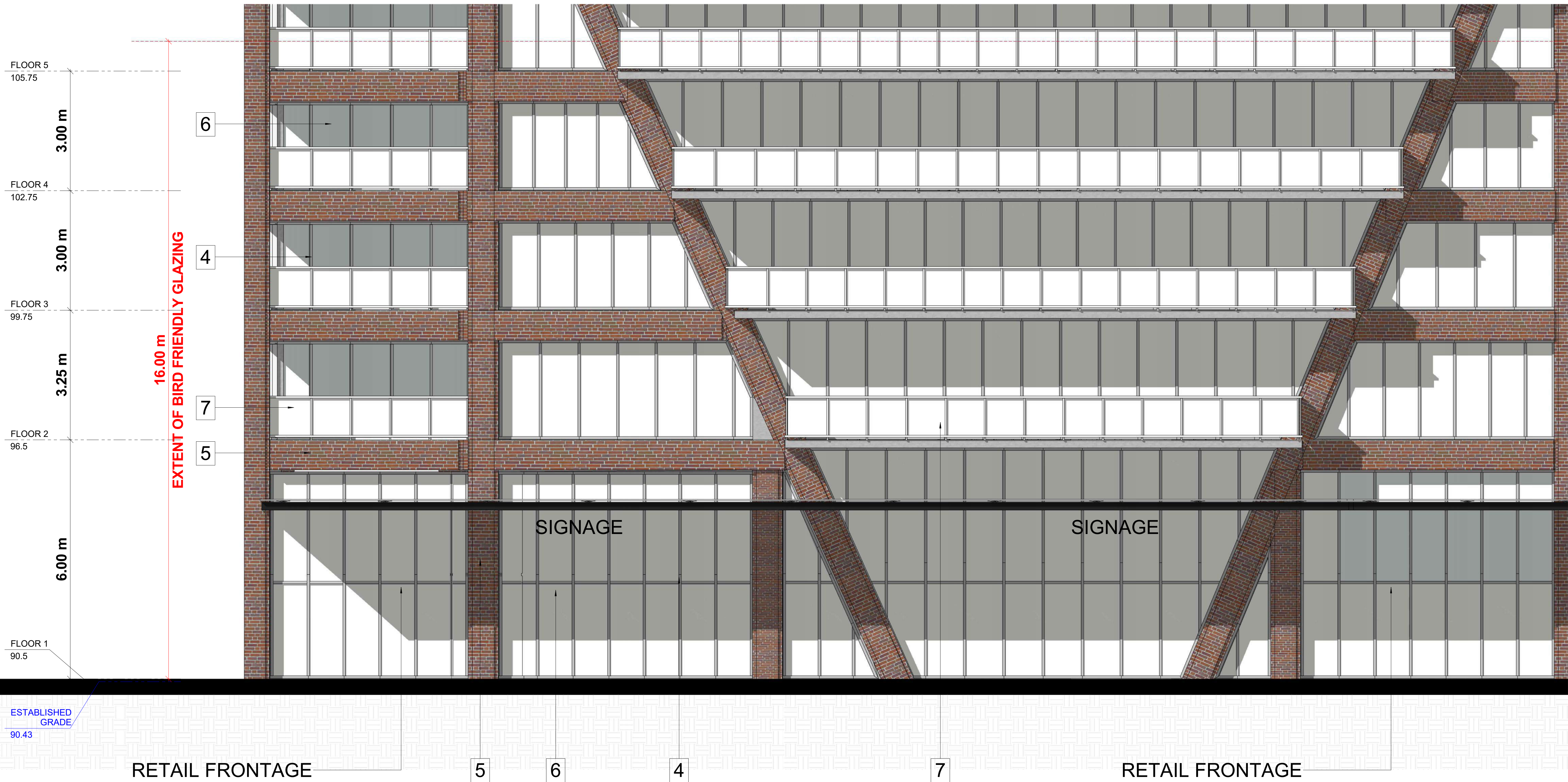
PROJECT NO. 06.037RZ	
PROJECT DATE 2022-05-12	
DRAWN BY TKA	
CHECKED BY AYU	
SCALE As indicated	

DRAWING NO.
SPA312

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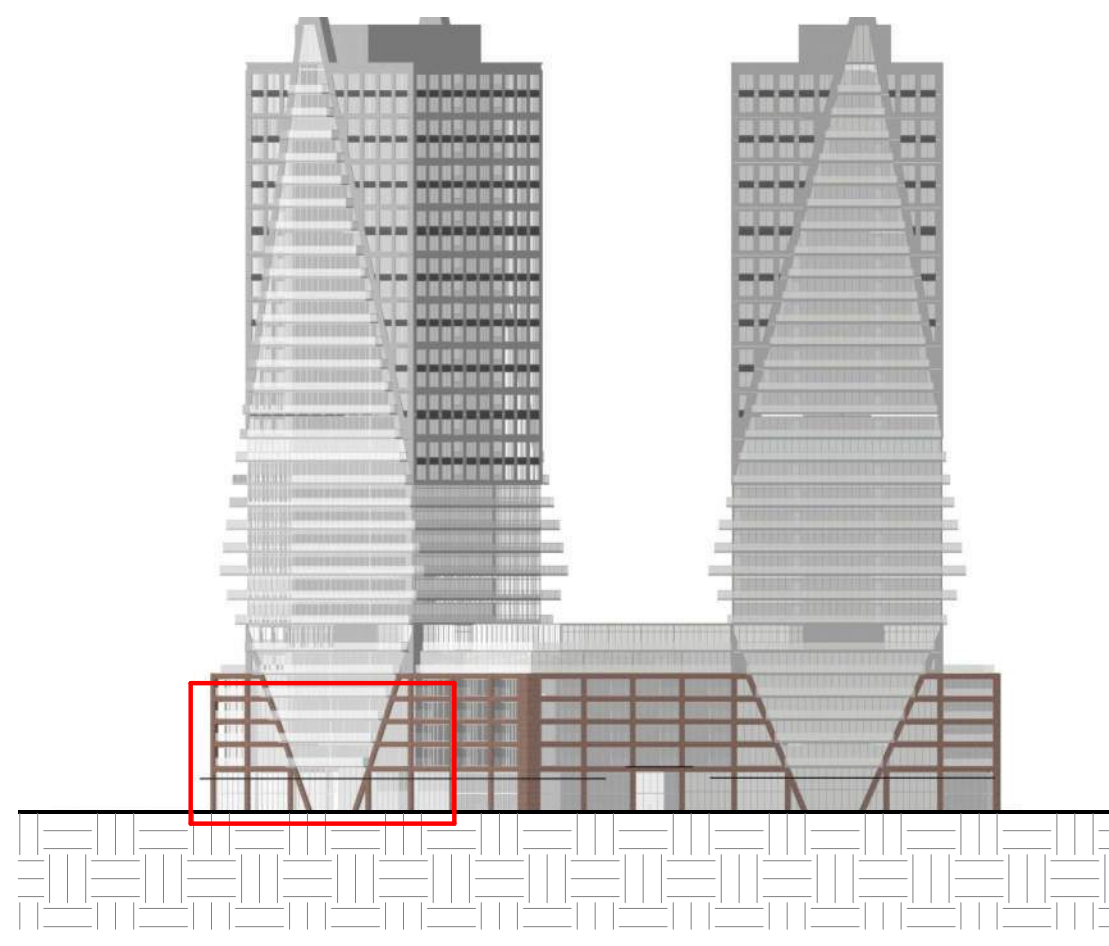
EXTERIOR FINISH LEGEND

1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING



ESTABLISHED GRADE
90.43

1 Detailed North Elevation P3
SPA313 1:50



#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated

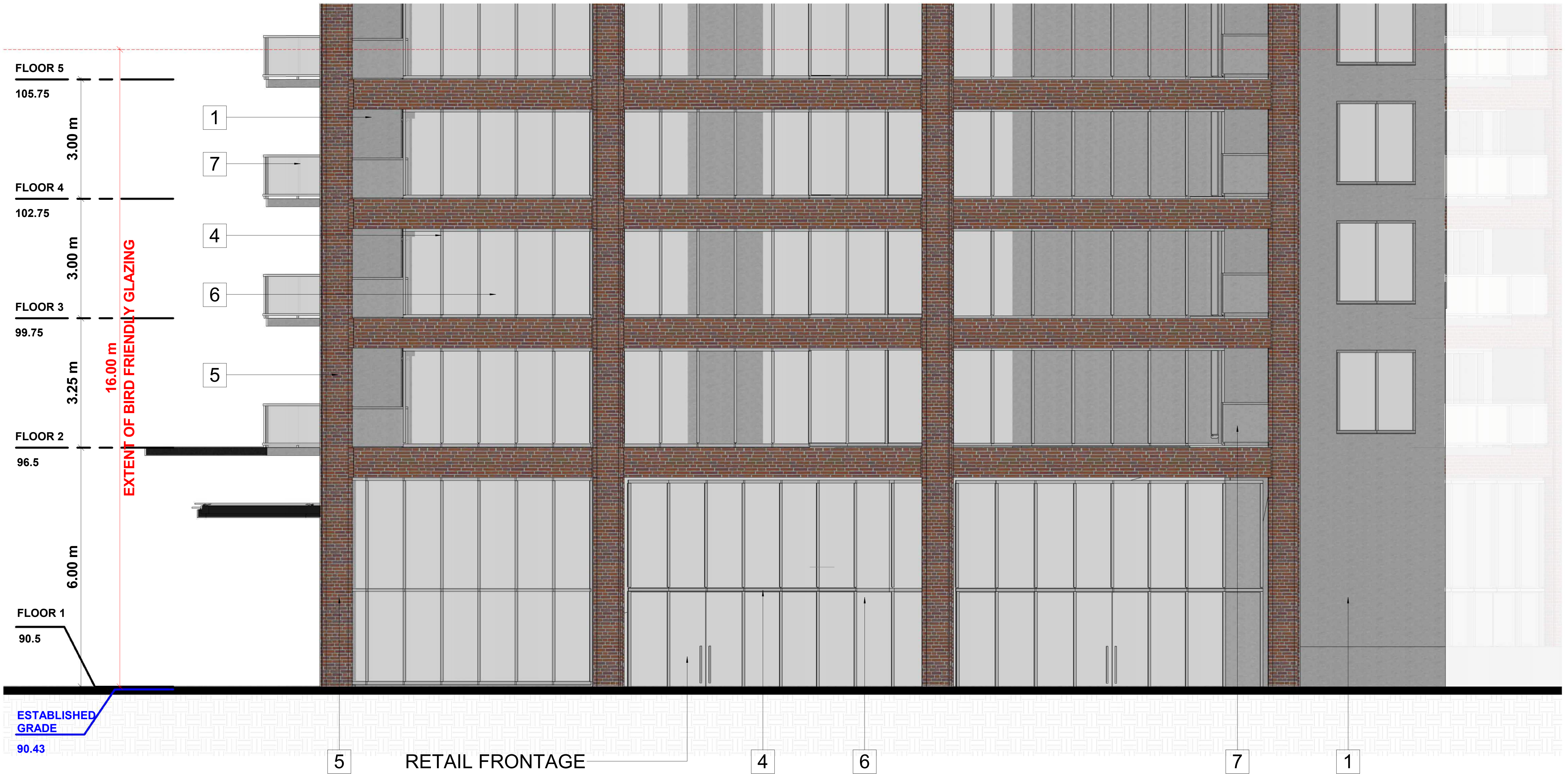


DRAWING NO.
SPA313

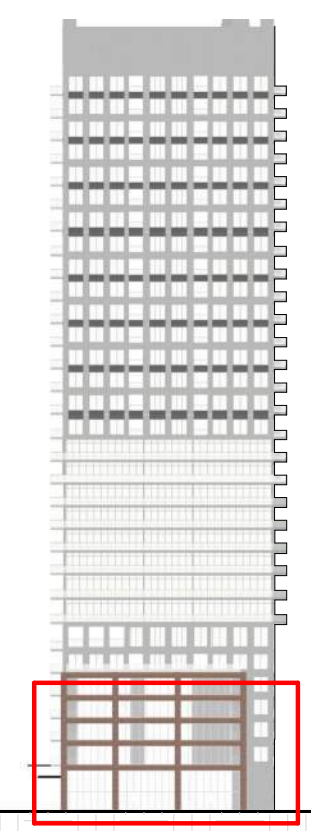
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EXTERIOR FINISH LEGEND

1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING



1 Detailed West Elevation
SPA314 1 : 50



#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated

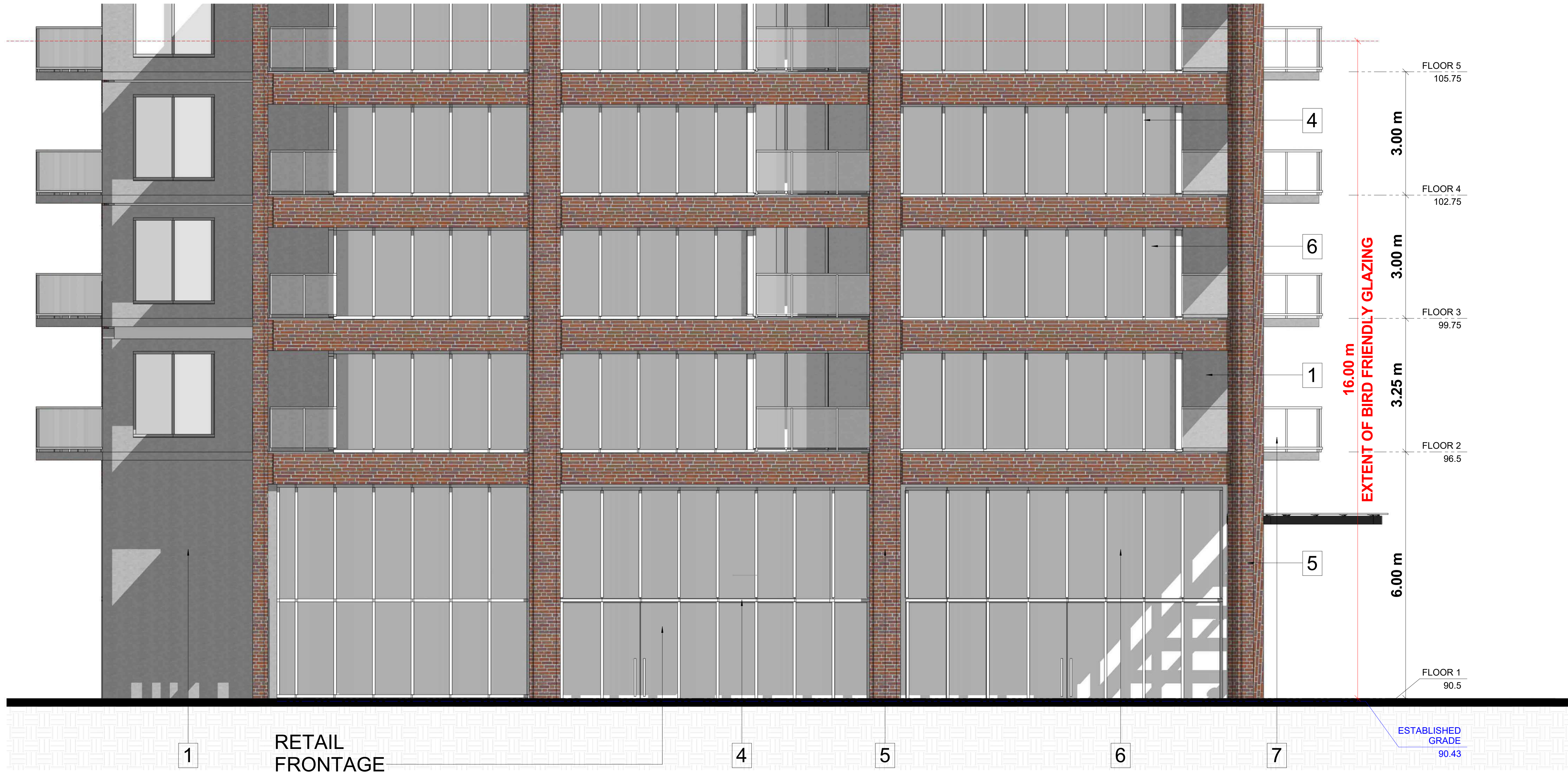


DRAWING NO.
SPA314

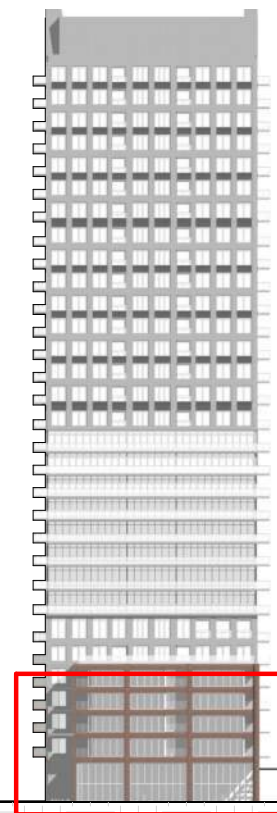
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EXTERIOR FINISH LEGEND

1	PRECAST CONCRETE - LIGHT GREY
2	PRECAST CONCRETE - DARK GREY
3	SPANDREL PANEL - DARK GREY
4	ALUMINUM MULLION - GREY
5	MASONRY - DARK RED
6	CLEAR GLAZING
7	BALCONY GLAZING



1 Detailed South East Elevation
SPA315
1:50



#	DATE	DESCRIPTION	BY
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PROJECT
**PICKERING DESIGN CENTRE
(BLOCK 1)**
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
1 TO 50 ELEVATIONS

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA315

1775 PICKERING PARKWAY, PICKERING, ON

BIRD FRIENDLY DIAGRAM

1. Solid / Opaque Surfaces
On the EAST ELEVATION, 457.7 m² is located within the bird-friendly zone. Of this total surface area, 203.9 m² or 44.6% are opaque surfaces such as precast, brick, metal panel, and aluminum.

On the WEST ELEVATION, 450.7 m² is located within the bird-friendly zone. Of this total surface area, 203.2 m² or 45.1% are opaque surfaces such as precast, brick, metal panel, and aluminum.

On the NORTH ELEVATION P1, 1200.5 m² is located within the bird-friendly zone. Of this total surface area, 444.8 m² or 37.0% are opaque surfaces such as precast, brick, metal panel, and aluminum.

On the NORTH ELEVATION P2, 1034.5 m² is located within the bird-friendly zone. Of this total surface area, 397.8 m² or 38.5% are opaque surfaces such as precast, brick, metal panel, and aluminum.

2. Glass
On the EAST ELEVATION, 253.7 m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 2.0% is shaded from balcony and canopy overhangs, 0.0% is spandrel glass, 96.4% is vision glass with a frit pattern and 0.0% is vision glass with no treatment. As such, 0.0% of all glazed surfaces are left untreated.
A breakdown of these areas are shown in the chart:

On the WEST ELEVATION, 247.5 m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 0.0% is shaded from balcony and canopy overhangs, 0.0% is spandrel glass, 100.0% is vision glass with a frit pattern and 0.0% is vision glass with no treatment. As such, 0.0% of all glazed surfaces are left untreated.
A breakdown of these areas are shown in the chart:

On the NORTH ELEVATION P1, 755.7 m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 7.7% is shaded from balcony and canopy overhangs, 0.0% is spandrel glass, 92.3% is vision glass with a frit pattern and 0.0% is vision glass with no treatment. As such, 0.0% of all glazed surfaces are left untreated.
A breakdown of these areas are shown in the chart:

On the NORTH ELEVATION P2, 636.7 m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 19.3% is shaded from balcony and canopy overhangs, 0.0% is spandrel glass, 80.7% is vision glass with a frit pattern and 0.0% is vision glass with no treatment. As such, 0.0% of all glazed surfaces are left untreated.
A breakdown of these areas are shown in the chart:

Frit with a pattern which meets the requirements of the City of Toronto 'Bird Friendly Guidelines' will be used.

06.037 PICKERING DESIGN CENTRE, PICKERING, ON

PICKERING, ONTARIO

PROJECT SUMMARY

REVISED: 2022-04-08

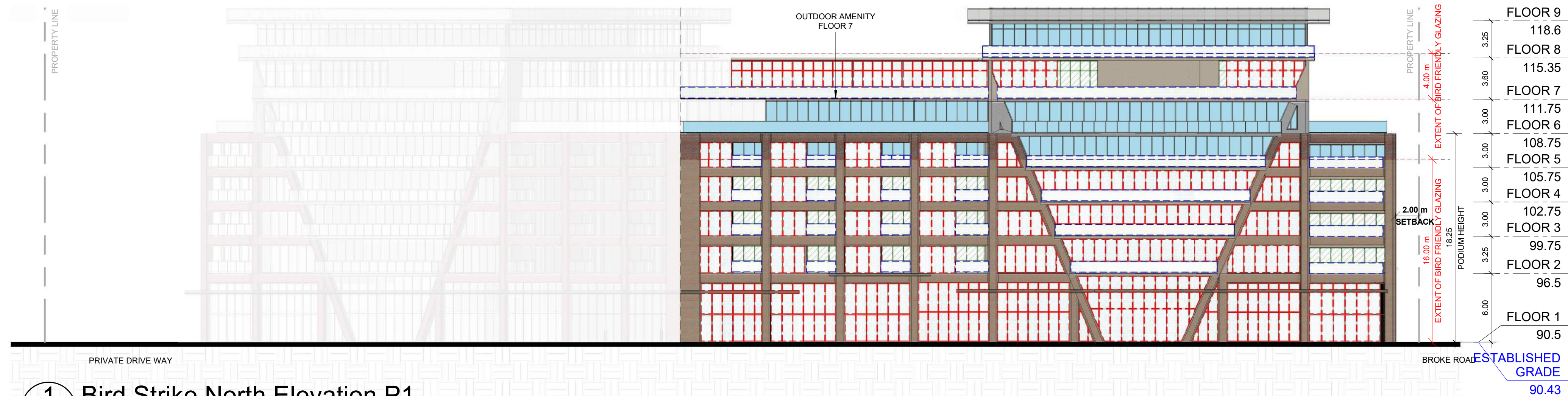
BIRD FRIENDLY ELEVATION CHART

SURFACE	AREA (m ²)	% OF TOTAL		% FOR TREATMENTS OF
		VERTICAL SURFACE		
Opaque Surfaces - Precast/Metal Panel/Aluminum	203.9	44.6%		N/A
Glazed Surfaces with Frit Pattern	244.685	53.5%		96.4%
Glazed Surfaces with Shading	9.03	2.0%		3.6%
Glazed Surfaces - Spandrel Glass	0.0	0.0%		0.0%
Glazed Surfaces (Untreated)	0.0	0.0%		0.0%
TOTAL	457.7	100%		100%
Total Glazed Surfaces 253.7				

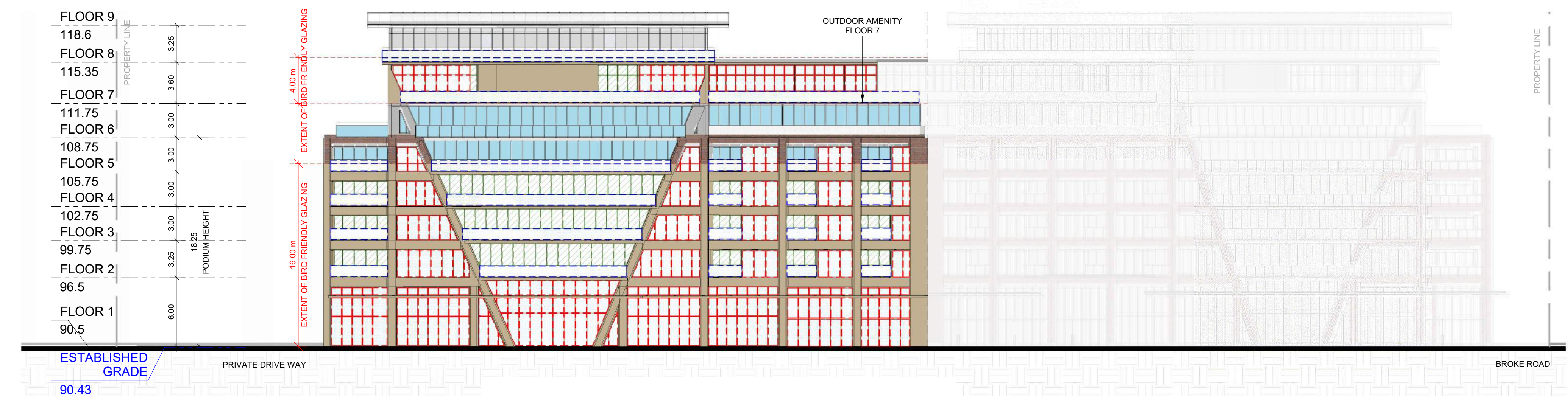
SURFACE	AREA (m ²)	% OF TOTAL		% FOR TREATMENTS OF
		VERTICAL SURFACE		
Opaque Surfaces - Precast/Metal Panel/Aluminum	203.2	45.1%		N/A
Glazed Surfaces with Frit Pattern	247.5	54.9%		100.0%
Glazed Surfaces with Shading	0.0	0.0%		0.0%
Glazed Surfaces - Spandrel Glass	0.0	0.0%		0.0%
Glazed Surfaces (Untreated)	0.0	0.0%		0.0%
TOTAL	450.7	100%		100%
Total Glazed Surfaces 247.5				

SURFACE	AREA (m ²)	% OF TOTAL		% FOR TREATMENTS OF
		VERTICAL SURFACE		
Opaque Surfaces - Precast/Metal Panel/Aluminum	444.8	37.0%		N/A
Glazed Surfaces with Frit Pattern	697.7	58.1%		92.3%
Glazed Surfaces with Shading	58.0	4.8%		7.7%
Glazed Surfaces - Spandrel Glass	0.0	0.0%		0.0%
Glazed Surfaces (Untreated)	0.0	0.0%		0.0%
TOTAL	1200.5	100%		100%
Total Glazed Surfaces 755.7				

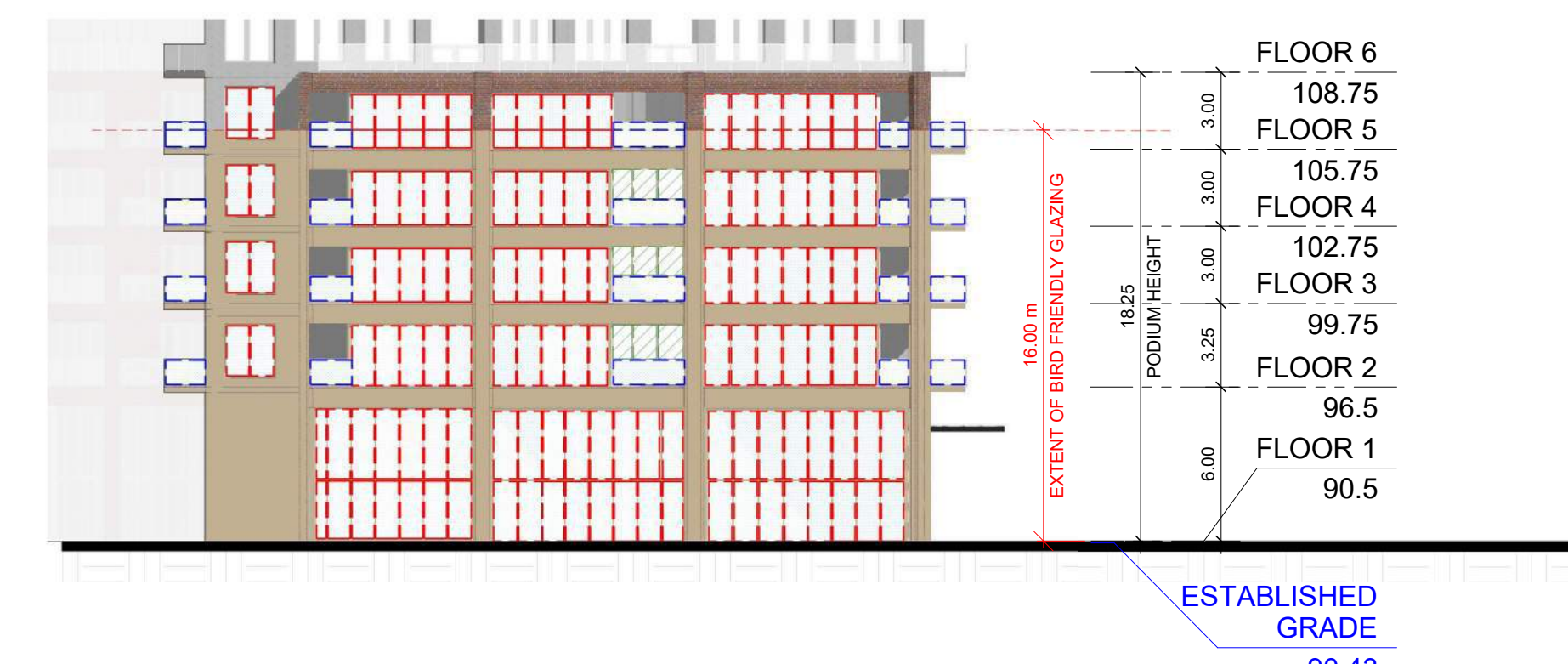
SURFACE	AREA (m ²)	% OF TOTAL		% FOR TREATMENTS OF
		VERTICAL SURFACE		
Opaque Surfaces - Precast/Metal Panel/Aluminum	397.8	38.5%		N/A
Glazed Surfaces with Frit Pattern	513.8	49.7%		80.7%
Glazed Surfaces with Shading	122.9	11.9%		19.3%
Glazed Surfaces - Spandrel Glass	0.0	0.0%		0.0%
Glazed Surfaces (Untreated)	0.0	0.0%		0.0%
TOTAL	1034.5	100%		100%
Total Glazed Surfaces 636.7				



1 Bird Strike North Elevation P1
SPA321 1 : 250



2 Bird Strike North Elevation P2
SPA321 1 : 250



4 Bird Strike Study East Elevation
SPA321 1 : 250



3 Bird Strike Study West Elevation
SPA321 1 : 250

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON, M5B 2T8
1-416-425-2222
turnerfleischer.com

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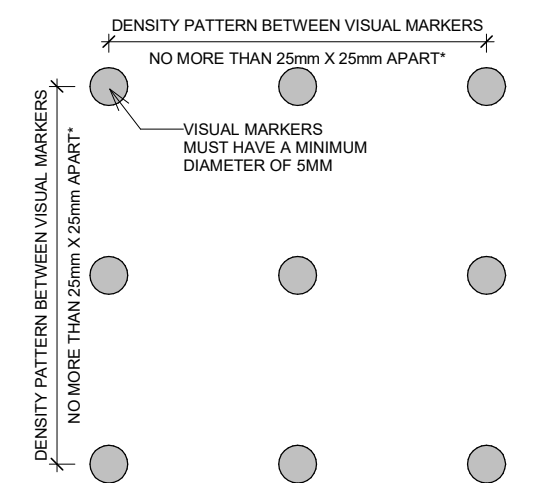
- GLAZED SURFACES TREATED WITH FRIT PATTERN AS PER THE FRIT PATTERN DETAIL
- GLAZED BALCONIES TREATED WITH FRIT PATTERN AS PER THE FRIT PATTERN DETAIL
- GLAZED SURFACES SHADED BY PROJECTION / OVERHANGS
- GLAZED SURFACES VISION GLASS (UNTREATED)
- OPAQUE SURFACES SUCH AS PRECAST, BRICK, METAL PANEL AND ALUMINUM

BIRD FRIENDLY GUIDELINE

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-FRIENDLY DEVELOPMENT GUIDELINES (FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE GREEN FEATURE):

- PROVISION OF VISUAL MARKERS
 - VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. INCREASING THE SOLID TO GLASS RATIO OF GLAZING BY PROVIDING A TIGHTER GLAZING GRID IS ONE METHOD CONSIDERED, OTHERS ARE:
 - APPLICATION OF FILM AND DECALS TO THE GLASS
 - MUTTING REFLECTIONS IN THE GLASS THROUGH THE USE OF INTERNAL SCREENS PLACED CLOSE TO THE GLASS SURFACE
 - CANOPIES LOCATED ALONG THE BUILDING FAÇADE TO PROVIDE ADDITIONAL MUTTING OF REFLECTED IMAGES
 - USE PANEL GLASS TREATED WITH A PATTERN FROM AGC FOR ALL VISION GLASS ON LEVEL 1 & 2
- REDUCTION OF LIGHT POLLUTION
 - REDUCTION OF LIGHT POLLUTION FROM INTERIOR LIGHTS, PARTICULARLY DURING MIGRATION PERIODS.
 - SELECTION OF APPROPRIATE EXTERNAL LIGHTING FIXTURES TO ELIMINATE DIRECT UPWARDS LIGHT. REDUCE SPILL LIGHT AND OPTIMIZE USEFUL LIGHT.

DETAIL NOTE:
FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE. (TORONTO GREEN STANDARD EC4.1)



#	DATE	DESCRIPTION	BY
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PICKERING DESIGN CENTRE (BLOCK 1)

1775 PICKERING PARKWAY
PICKERING, ON.

BIRD STRIKE STUDY

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
As indicated



DRAWING NO.
SPA321

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1775 PICKERING PARKWAY, PICKERING, ON

BIRD FRIENDLY DIAGRAM

1. Solid / Opaque Surfaces

On the SOUTH ELEVATION P1, 841.9 m² is located within the bird-friendly zone. Of this total surface area, 435.0 m² or 51.7% are opaque surfaces such as precast, brick, metal panel, and aluminum.

On the SOUTH ELEVATION P2, 710.9 m² is located within the bird-friendly zone. Of this total surface area, 401.9 m² or 56.5% are opaque surfaces such as precast, brick, metal panel, and aluminum.

2. Glass

On the SOUTH ELEVATION P1, 406.9 m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 35.9% is shaded from balcony and canopy overhangs, 0.0% is spandrel glass, 64.1% is vision glass with a frit pattern and 0.0% is vision glass with no treatment. As such, 0.0% of all glazed surfaces are left untreated.

A breakdown of these areas are shown in the chart:

On the SOUTH ELEVATION P2, 308.9 m² of glazed surfaces is located within the bird friendly zone. Of these glazed surfaces 38.0% is shaded from balcony and canopy overhangs, 0.0% is spandrel glass, 62.0% is vision glass with a frit pattern and 0.0% is vision glass with no treatment. As such, 0.0% of all glazed surfaces are left untreated.

A breakdown of these areas are shown in the chart:

Frit with a pattern which meets the requirements of the City of Toronto 'Bird Friendly Guidelines' will be used.

SURFACE	AREA (m ²)	% OF TOTAL		% FOR TREATMENTS OF
		VERTICAL SURFACE		
Opaque Surfaces - Precast/Metal Panel/Aluminum	435.0	51.7%		N/A
Glazed Surfaces with Frit Pattern	260.8	31.0%		64.1%
Glazed Surfaces with Shading	146.1	17.4%		35.9%
Glazed Surfaces - Spandrel Glass	0.0	0.0%		0.0%
Glazed Surfaces (Untreated)	0.0	0.0%		0.0%
TOTAL	841.9	100%		100%
Total Glazed Surfaces	406.9			

SURFACE	AREA (m ²)	% OF TOTAL		% FOR TREATMENTS OF
		VERTICAL SURFACE		
Opaque Surfaces - Precast/Metal Panel/Aluminum	401.9	56.5%		N/A
Glazed Surfaces with Frit Pattern	191.6	27.0%		62.0%
Glazed Surfaces with Shading	117.3	16.5%		38.0%
Glazed Surfaces - Spandrel Glass	0.0	0.0%		0.0%
Glazed Surfaces (Untreated)	0.0	0.0%		0.0%
TOTAL	710.9	100%		100%
Total Glazed Surfaces	308.9			

SURFACE	AREA (m ²)	% OF TOTAL		% FOR TREATMENTS OF
		VERTICAL SURFACE		
Opaque Surfaces - Precast/Metal Panel/Aluminum	2086.6	44.4%		N/A
Glazed Surfaces with Frit Pattern	2156.2	45.9%		82.6%
Glazed Surfaces with Shading	453.3	9.7%		17.4%
Glazed Surfaces - Spandrel Glass	0.0	0.0%		0.0%
Glazed Surfaces (Untreated)	0.0	0.0%		0.0%
TOTAL	4696.1	100%		100%
Total Glazed Surfaces	2609.5			

Total Glazed Surfaces 7305.6



1 Bird Strike Study South Elevation P1

SPA322 1 : 200



2 Bird Strike Study South Elevation P2

SPA322 1 : 200

- GLAZED SURFACES TREATED WITH FRIT PATTERN AS PER THE FRIT PATTERN DETAIL
- GLAZED BALCONIES TREATED WITH FRIT PATTERN AS PER THE FRIT PATTERN DETAIL
- GLAZED SURFACES SHADED BY PROJECTION / OVERHANGS
- GLAZED SURFACES VISION GLASS (UNTREATED)
- OPAQUE SURFACES SUCH AS PRECAST, BRICK, METAL PANEL AND ALUMINUM

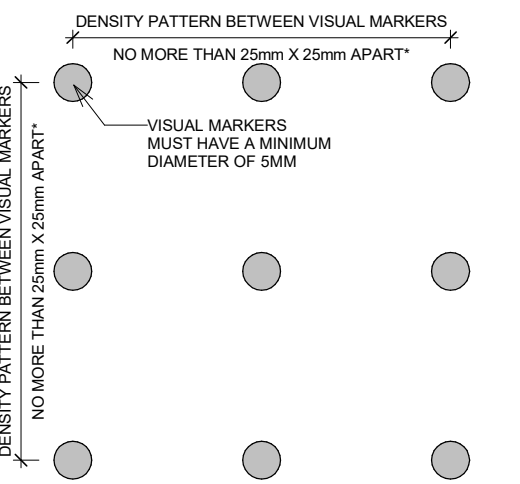
BIRD FRIENDLY GUIDELINE

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-FRIENDLY DEVELOPMENT GUIDELINES (FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE GREEN FEATURE):

- PROVISION OF VISUAL MARKERS**
- VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. INCREASING THE SOLID TO GLASS RATIO OF GLAZING BY PROVIDING A TIGHTER GLAZING GRID IS ONE METHOD CONSIDERED, OTHERS ARE:
- APPLICATION OF FILM AND DECALS TO THE GLASS
- MUTTING REFLECTIONS IN THE GLASS THROUGH THE USE OF INTERNAL SCREENS PLACED CLOSE TO THE GLASS SURFACE
- CANOPIES LOCATED ALONG THE BUILDING FACADE TO PROVIDE ADDITIONAL MUTING OF REFLECTED IMAGES
- USE PANEL GLASS TREATED WITH A PATTERN FROM AGC FOR ALL VISION GLASS ON LEVEL 1 & 2

- REDUCTION OF LIGHT POLLUTION**
- REDUCTION OF LIGHT POLLUTION FROM INTERIOR LIGHTS, PARTICULARLY DURING MIGRATION PERIODS.
- SELECTION OF APPROPRIATE EXTERNAL LIGHTING FIXTURES TO ELIMINATE DIRECT UPWARDS LIGHT. REDUCE SPILL LIGHT AND OPTIMIZE USEFUL LIGHT.

DETAIL NOTE:
FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE. (TORONTO GREEN STANDARD EC4.1)



#	DATE	DESCRIPTION	BY



PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

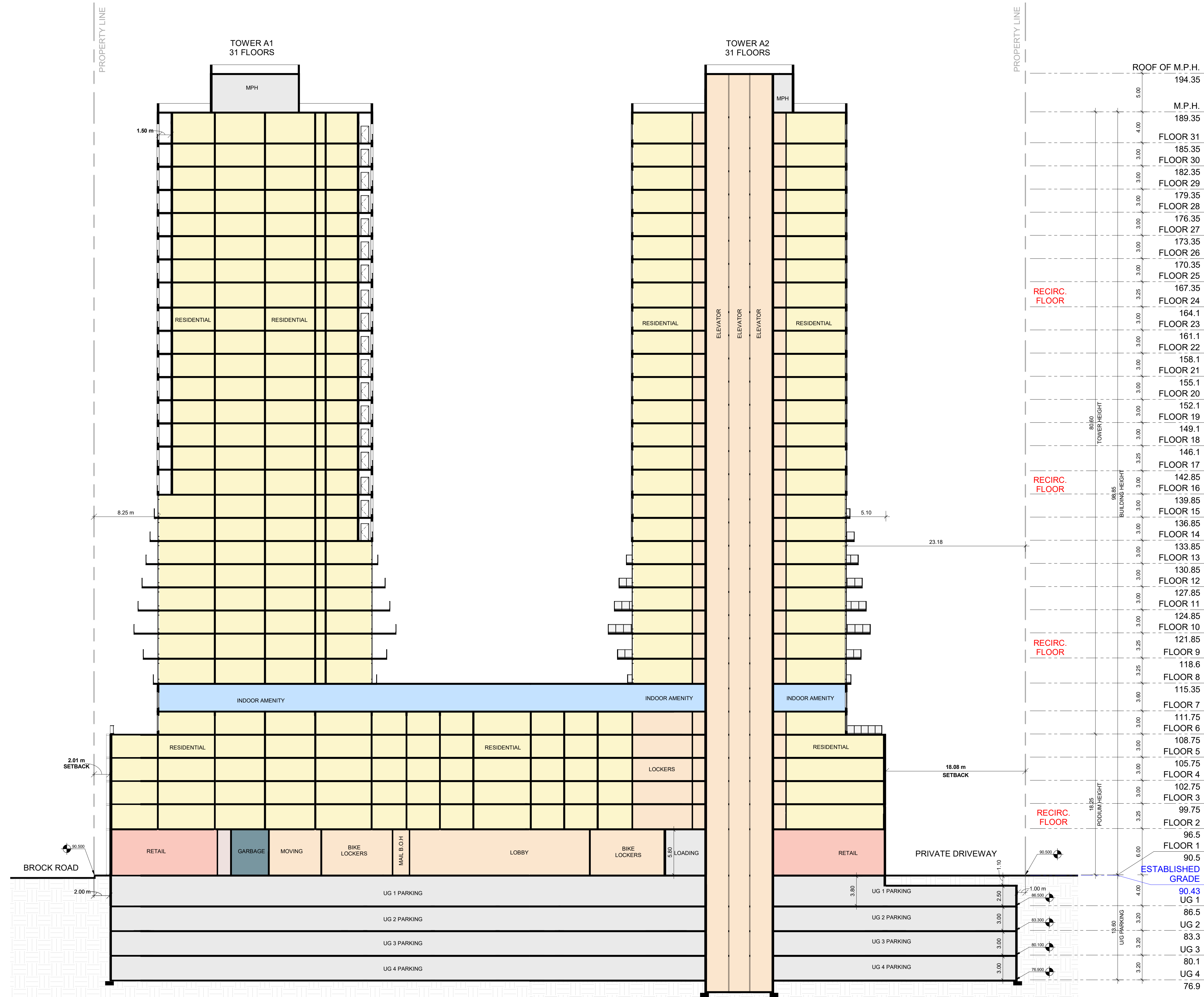
DRAWING
BIRD STRIKE STUDY

PROJECT NO. 06.037RZ
PROJECT DATE 2022-05-12
DRAWN BY TKA
CHECKED BY AYU
SCALE As indicated



DRAWING NO. SPA322

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FLOOR	HEIGHT (m)	TYPE
ROOF OF M.P.H.	194.35	M.P.H.
M.P.H.	189.35	M.P.H.
FLOOR 31	185.35	RESIDENTIAL
FLOOR 30	182.35	RESIDENTIAL
FLOOR 29	179.35	RESIDENTIAL
FLOOR 28	176.35	RESIDENTIAL
FLOOR 27	173.35	RESIDENTIAL
FLOOR 26	170.35	RESIDENTIAL
FLOOR 25	167.35	RESIDENTIAL
RECIRC. FLOOR	164.1	RECIRC. FLOOR
FLOOR 24	161.1	RESIDENTIAL
FLOOR 23	158.1	RESIDENTIAL
FLOOR 22	155.1	RESIDENTIAL
FLOOR 21	152.1	RESIDENTIAL
FLOOR 20	149.1	RESIDENTIAL
FLOOR 19	146.1	RESIDENTIAL
FLOOR 18	142.85	RESIDENTIAL
RECIRC. FLOOR	139.85	RECIRC. FLOOR
FLOOR 17	136.85	RESIDENTIAL
FLOOR 16	133.85	RESIDENTIAL
FLOOR 15	130.85	RESIDENTIAL
FLOOR 14	127.85	RESIDENTIAL
FLOOR 13	124.85	RESIDENTIAL
FLOOR 12	121.85	RESIDENTIAL
FLOOR 11	118.6	RESIDENTIAL
FLOOR 10	115.35	RESIDENTIAL
RECIRC. FLOOR	111.75	RECIRC. FLOOR
FLOOR 9	108.75	RESIDENTIAL
FLOOR 8	105.75	RESIDENTIAL
FLOOR 7	102.75	RESIDENTIAL
FLOOR 6	99.75	RESIDENTIAL
FLOOR 5	96.5	RESIDENTIAL
FLOOR 4	90.5	RESIDENTIAL
FLOOR 3	90.43	RESIDENTIAL
FLOOR 2	86.5	RESIDENTIAL
FLOOR 1	83.3	RESIDENTIAL
UG 1	80.1	UG 1
UG 2	76.9	UG 2
UG 3		UG 3
UG 4		UG 4

A Section A-A
SPA401 1 : 250

#	DATE	DESCRIPTION	BY



PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

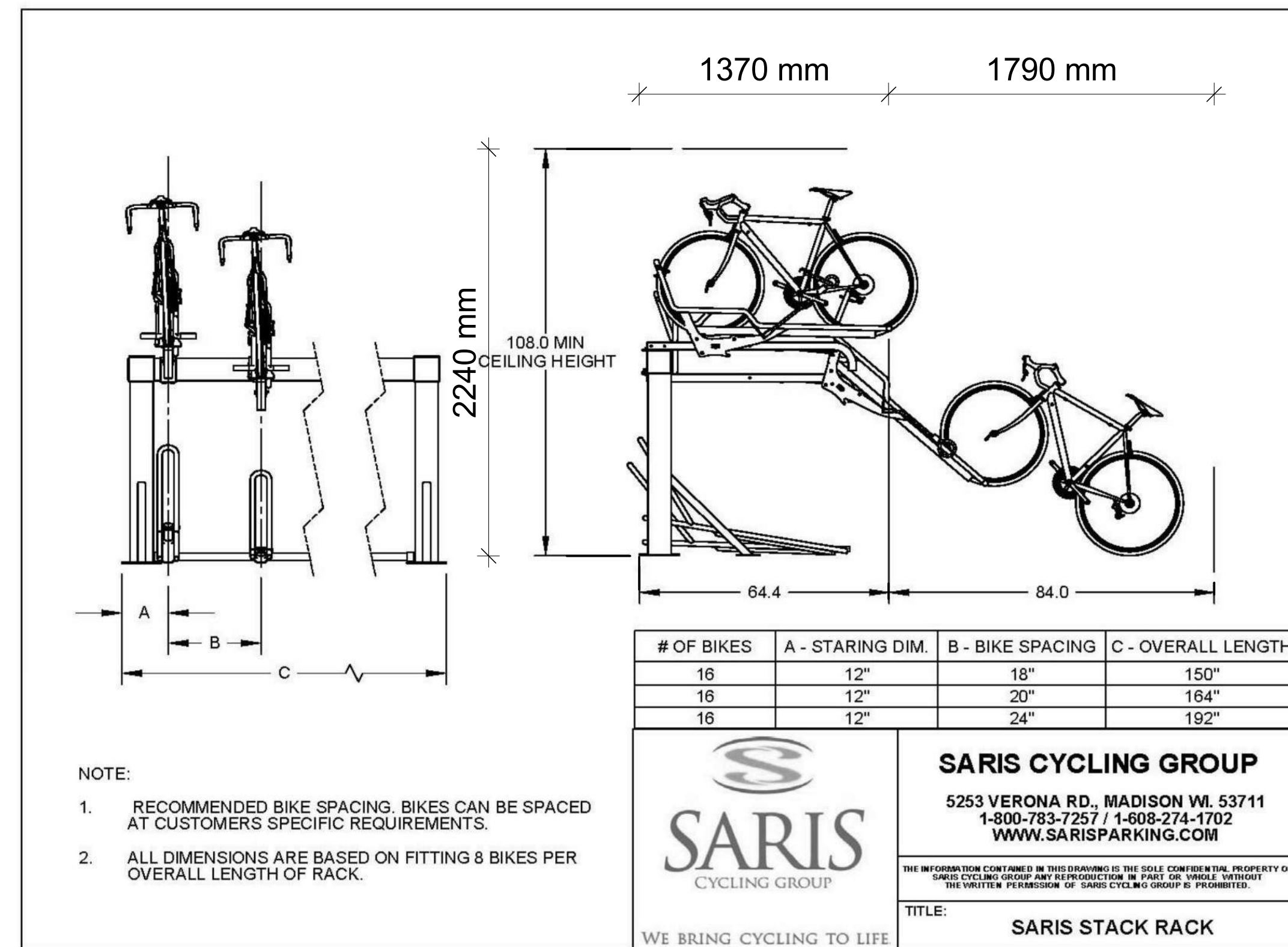
BUILDING SECTIONS

PROJECT NO. 06.037RZ
PROJECT DATE 2022-05-12
DRAWN BY TKA
CHECKED BY AYU
SCALE 1 : 250

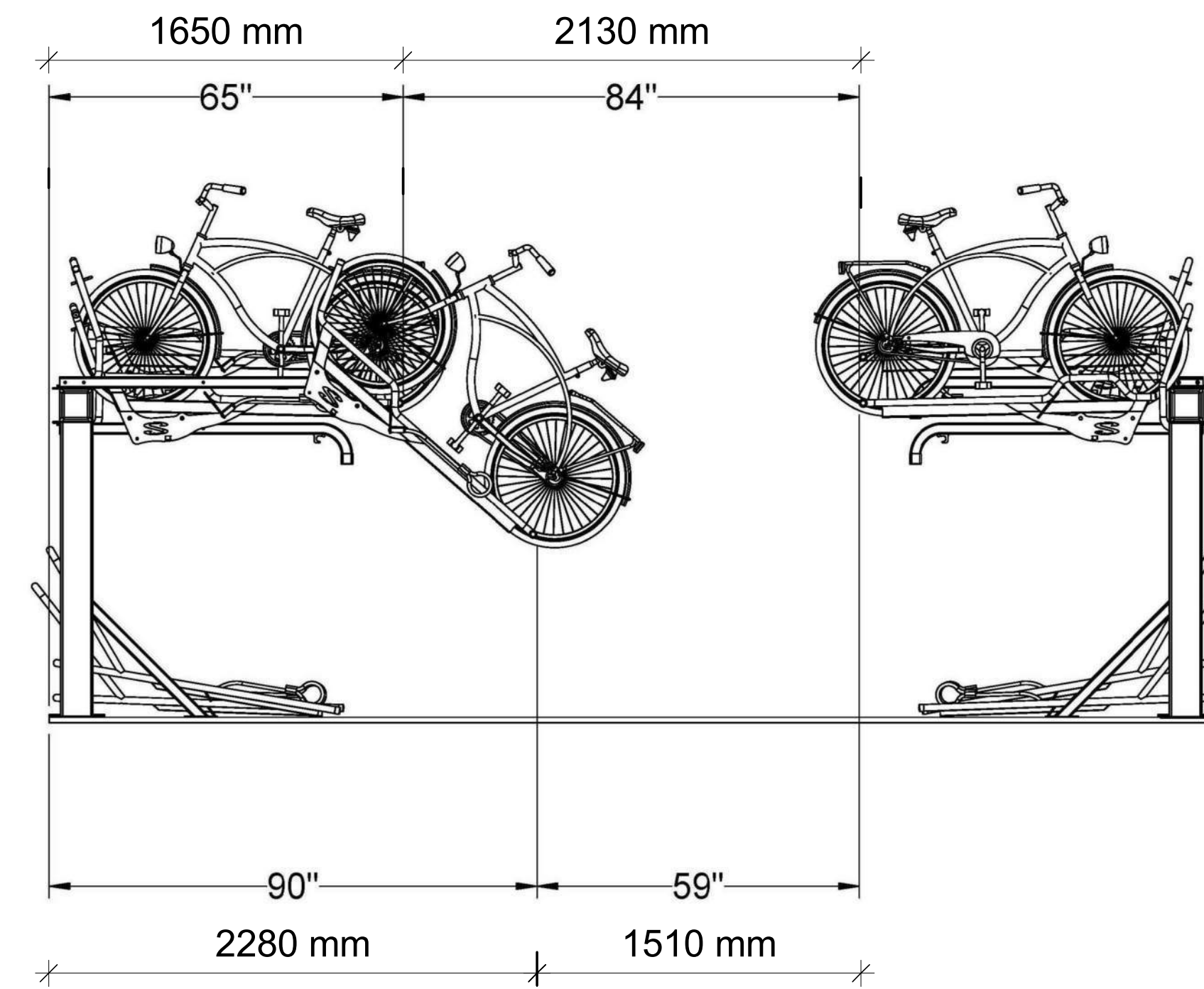


DRAWING NO. SPA401

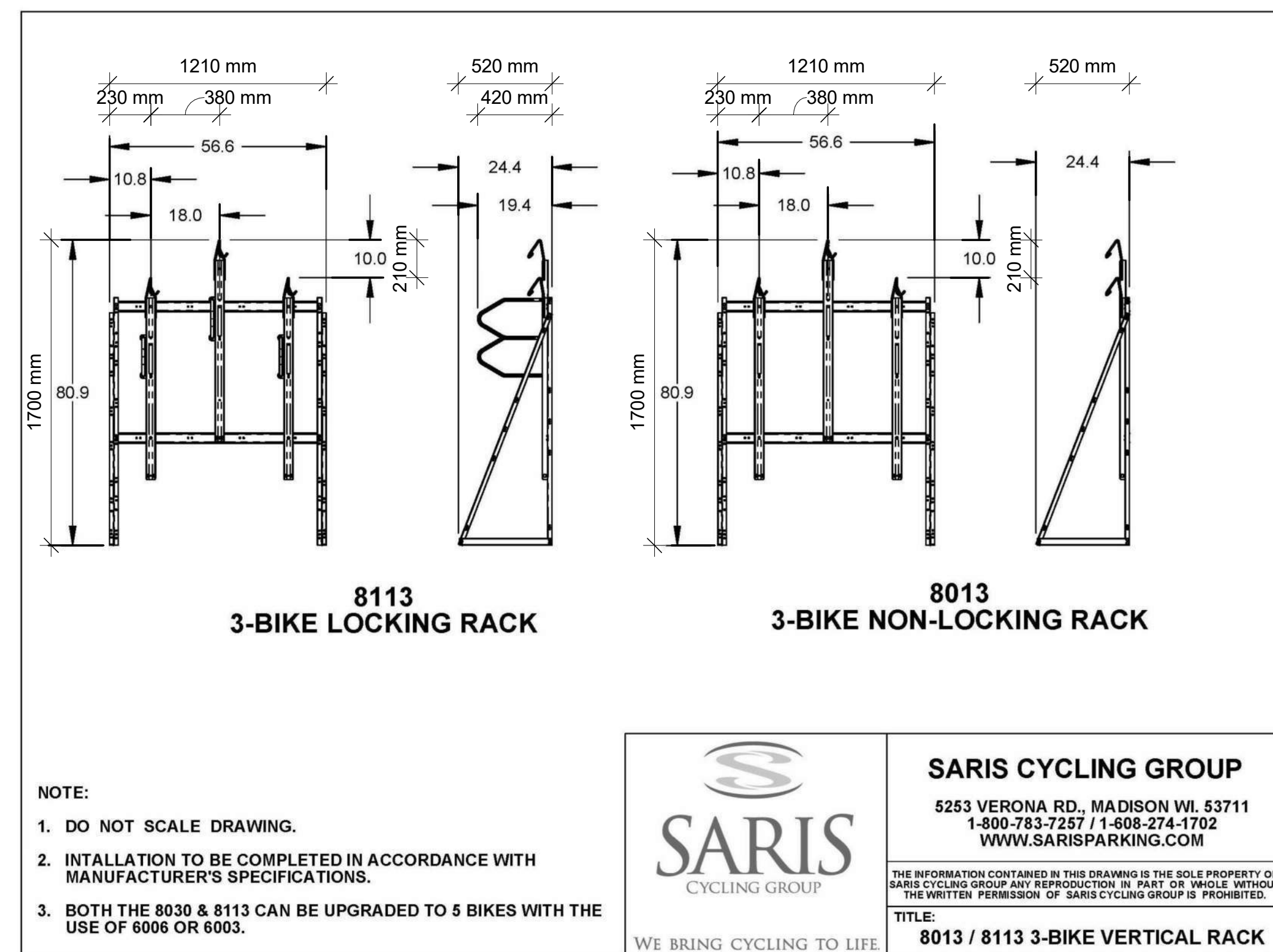
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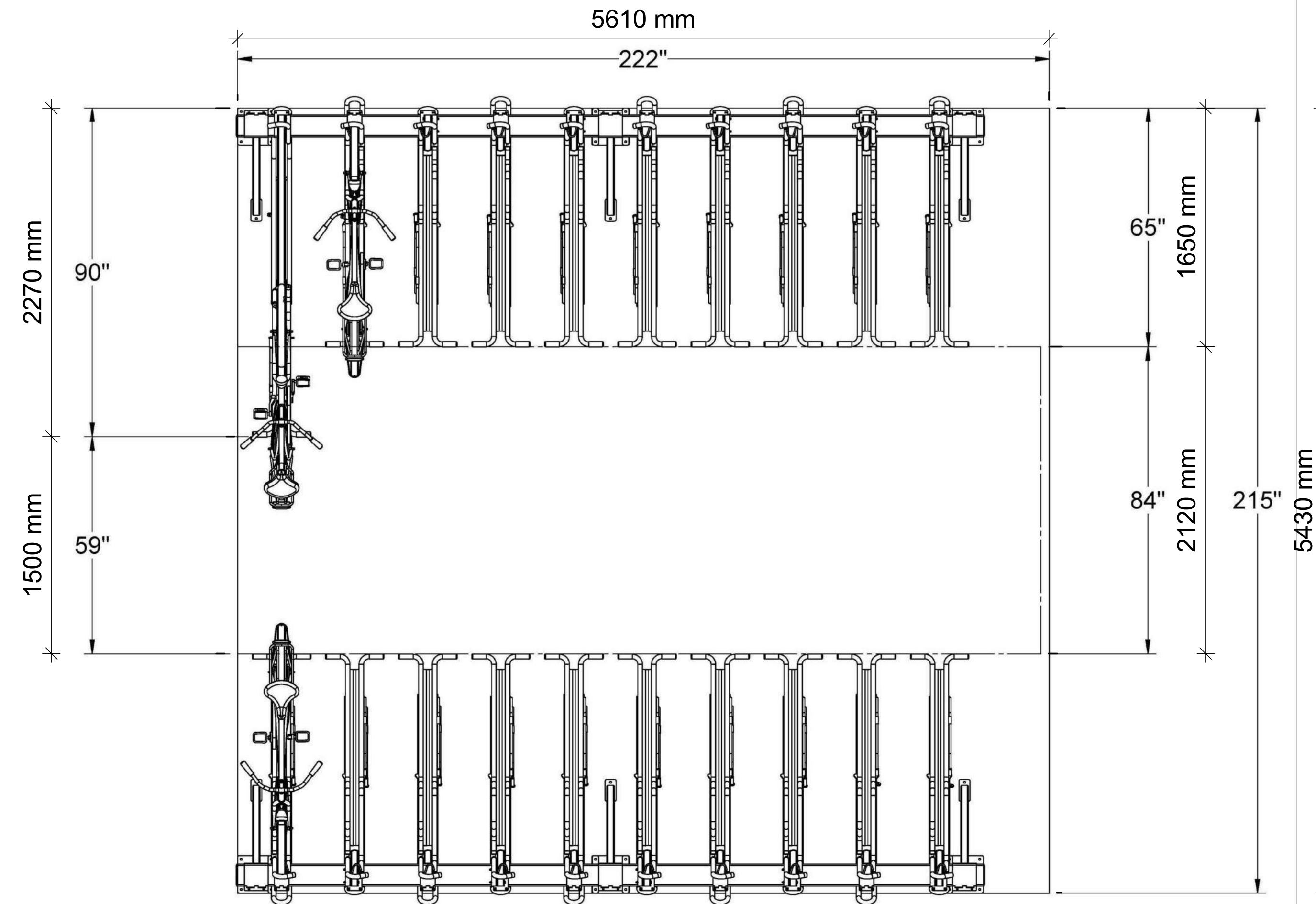
SPECIFICATIONS OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES



SECTION OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES



SPECIFICATIONS OF SARIS VERTICAL BICYCLE PARKING SPACES



PLAN OF SARIS HORIZONTAL STACKED BICYCLE PARKING SPACES

#	DATE	DESCRIPTION	BY



PROJECT
PICKERING DESIGN CENTRE
(BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
DETAILS (SARIS BIKE RACK)

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE
1:25



DRAWING NO.
SPA600

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M5B 2T8
T 416 425 2222
turnerfleischer.com

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VIEW FROM RIGHT-OF-WAY LOOKING SOUTH

#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
3D PERSPECTIVES

PROJECT NO.
06.03FRZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
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AYU
SCALE



DRAWING NO.
SPA801

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VIEW FROM RIGHT OF WAY LOOKING SOUTH

#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING

3D PERSPECTIVES

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE



DRAWING NO.
SPA802

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VIEW FROM RIGHT-OF-WAY LOOKING NORTH WEST

#	DATE	DESCRIPTION	BY
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PROJECT
PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING
3D PERSPECTIVES

PROJECT NO.
06.03FRZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE



DRAWING NO.
SPA803



VIEW OF SOUTH OF SIGHT LOOKING NORTH WEST

#	DATE	DESCRIPTION	BY
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PICKERING DESIGN CENTRE (BLOCK 1)
1775 PICKERING PARKWAY
PICKERING, ON.

DRAWING

3D PERSPECTIVES

PROJECT NO.
06.037RZ
PROJECT DATE
2022-05-12
DRAWN BY
TKA
CHECKED BY
AYU
SCALE



DRAWING NO.
SPA804