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2	2020-02-20	ISSUED FOR COORDINATION
3	2020-04-02	ISSUED FOR ZBA #1
4	2022-02-07	ISSUED FOR ZBA RESUBMISSION
5	2022-09-26	ISSUED FOR ZBA RESUBMISSION



2055 BROCK ROAD

(ISSUED FOR ZONING BY-LAW AMENDMENT)

BROCK RD DUFFINS FOREST INC.
22 ROSS SHINER LANE, STOUVILLE, ON L4A 0V4

ARCHITECTURAL CONSULTANT:	PLANNING CONSULTANT:	CIVIL CONSULTANT:	GEOTECHNICAL CONSULTANT:	ARCHEOLOGICAL CONSULTANT:	NOISE CONSULTANT:	TRANSPORTATION CONSULTANT:	ENVIRONMENTAL CONSULTANT:
KOHN PARTNERSHIP ARCHITECTS INC. 116 SPADINA AVENUE, SUITE 501 TORONTO, ON M5V 2K6 T: 416-703-6700	MHBC PLANNING LTD. 7050 WESTON ROAD, SUITE 320 WOODBIDGE, ON L4L 8G7 T: 905-761-5588	SABOURIN KIMBLE & ASSOCIATES LTD. 110 OLD KINGSTON RD AJAX, ON L1T 2Z9 T: 905-426-9451	SOIL ENGINEERS LTD. 100 NUGGET AVE TORONTO, ON M1S 5A7 T: 416-754-8515	ASI ARCHAEOLOGICAL & CULTURAL HERITAGE SERVICES 2321 FAIRVIEW STREET, UNIT 200 BURLINGTON, ON L7R 2E3 T: 416-966-1069	YCA ENGINEERING LTD. 9251 YONGE STREET, SUITE 8557 RICHMOND HILL, ON L4C 9T3 T: 416-894-3213	C.F. CROZIER & ASSOCIATES CONSULTING ENGINEERS 211 YONGE STREET, SUITE 301 TORONTO, ON M5B 1M4 T: 905-693-7849	DILLON 235 YORKLAND BOULEVARD, SUITE 800 TORONTO, ON M2J 4Y8 T: 416-229-4646

DRAWING LIST (ZBA SET)	
SHEET NUMBER	SHEET NAME
20ZBA/SFA	
ZBA	
A0 00	COVER SHEET
A1 00	CONTEXT PLAN
A1 01	ENLARGED SITE PLAN & STATISTICS
A1 02	WASTE COLLECTION STANDARD
A2 00	LEVEL P1 & P2 FLOOR PLANS
A2 01	BLOCK A - LEVEL 1, 2, 3, 4
A2 02	BLOCK A - LEVELS 5, 6, 7, 8-18
A2 03	BLOCK A - LEVEL 19-20; ROOF PLAN
A2 04	BLOCK B - C - FLOOR PLANS
A2 05	BLOCK D - FLOOR PLANS
A4 00	BLOCK A - ELEVATIONS
A4 01	BLOCK B, C & D - ELEVATIONS
A4 02	BLOCK B, C & D - ELEVATIONS
A4 10	OVERALL SITE SECTIONS



Project:
2055 BROCK ROAD

BROCK RD DUFFINS FOREST INC.

PICKERING ON

Drawing Title:
COVER SHEET

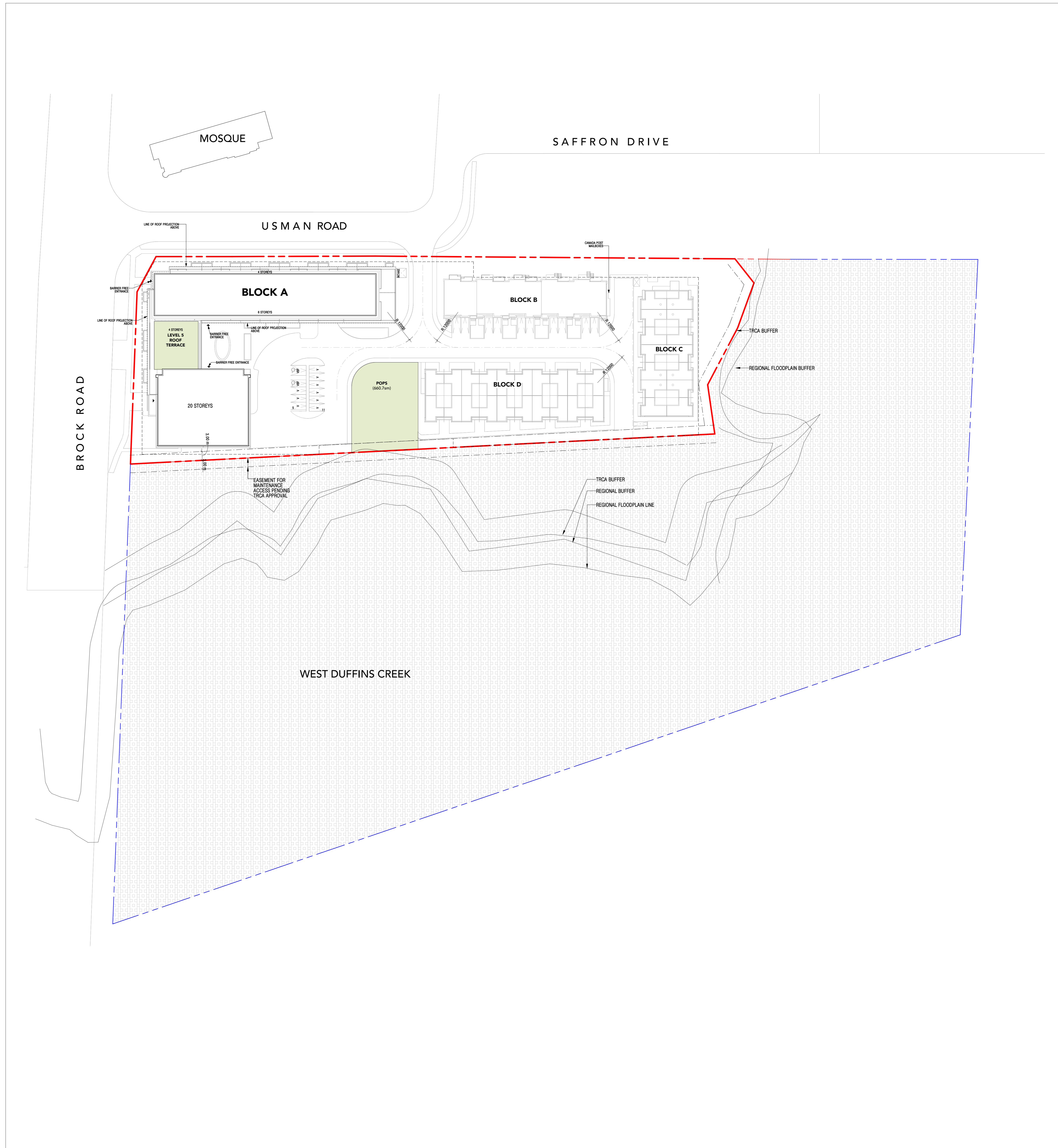
Project Manager Team: AT_AA
Date Plotted: 2022-10-25 5:42:47 PM
Project No.: 17-119
Scale: 1:1
Drawing No.: A0 00

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CONTEXT PLAN LEGEND

	COMPLETE OWNERSHIP
	DEVELOPABLE LANDS
	LANDS TO BE CONVEYED



Project: 2055 BROCK ROAD

BROCK RD DUFFINS FOREST INC.

PICKERING ON

Drawing Title: **CONTEXT PLAN**

Project Manager Team: AT_AA Project No: 17-119

Date Plotted: 2022-10-25 5:43:38 PM Scale: 1 : 500

Building No.: Drawing No.: **A1 00**

SITE STATISTICS	
BUILDING & SITE INFORMATION:	
ZONING DESIGNATION	RH/MU3, OS-HL
LOT AREA	13,115.2m ² (3.24 AC) (1.3 ha)
LOT FRONTAGE	72.2m
LOT DEPTH	209.79m
PROPOSED GFA	30,389m ² (325,812sq ft)
PERMITTED DENSITY (units per hectare)	140 (182)
PROPOSED DENSITY (units per hectare)	286
POPS AREA MIN (5% SITE AREA)	660.7m
COVERAGE	
BUILDING COVERAGE	4895m ² (37% of lot area)
PAVING (HARDSCAPING)	6479m ² (48% of lot area)
LANDSCAPING (SOFTSCAPING)	2743m ² (20% of lot area)
No. OF STOREYS (TOWER):	
HEIGHT (TOWER)	62m
GROSS FLOOR AREA	
BACK TO BACK TH	UNITS
BLOCK C	2,160m ² (23,260sf)
BLOCK D	3,059m ² (33,034sf)
TOWNHOUSES	
BLOCK B	1,849m ² (19,902sf)
TOWER	23,289m ² (250,872sf)
TOTAL	30,389m ² (328,870sf)
TOTAL: 372	
NOTE: GFA EXCLUDES PARKING USES INCLUDING BICYCLE STORAGE	
AMENITY SPACES (INDOOR/OUTDOOR) FOR APARTMENT DWELLINGS	
INDOOR AMENITY AREA = 2m ² /UNIT	OUTDOOR AMENITY AREA = 2m ² /UNIT
INDOOR REQUIRED: 744 m ²	OUTDOOR REQUIRED: 744 m ²
INDOOR PROPOSED: 830 m ²	OUTDOOR PROPOSED: 1193 m ²
LEVEL 1 LOBBY AREAS: 234m ² (2519sf)	POPS: 660.7m ² (7112sf)
LEVEL 1 AMENITY: 121m ² (1301sf)	LEVEL 1 AMENITY: 473m ² (5094sf)
LEVEL 5 MIDRISE AMENITY: 211m ² (2271sf)	TERRACE: 473m ² (5094sf)
LEVEL 5 TOWER AMENITY: 266m ² (2854sf)	
NOTE: POPS IS INCLUDED IN OUTDOOR AMENITY SPACE	

PARKING SPACE RATES: AS PER OLD ZONING BY-LAW 7085-10		
MULTIPLE DWELLING VERTICAL USES TENANT - 1 SPACE PER UNIT		
MULTIPLE DWELLING VERTICAL USES VISITOR - 0.25 SPACE PER UNIT		
MULTIPLE DWELLING HORIZONTAL USES TENANT - 2 SPACES PER UNIT		
MULTIPLE DWELLING HORIZONTAL USES VISITOR - 0.25 SPACE PER UNIT		
PARKING SPACES:	REQUIRED	PROPOSED
STALL DIMENSION	2.6m x 5.3m	2.6m x 5.3m
DRIVE AISLE WIDTH	6.5m	6.5m
MULTIPLE DWELLING VERTICAL USES (TENANT+VISITOR) 410 SPACES 410 SPACES		
MULTIPLE DWELLING HORIZONTAL USES (TENANT+VISITOR) 99 SPACES 99 SPACES		
SUBTOTAL		
TOTAL SPACES:	509 SPACES	514 SPACES
BICYCLE PARKING SPACE RATES		
APARTMENT DWELLING PARKING RATES		
BICYCLE PARKING NOT REQUIRED		
NOTE: WHERE THE NUMBER OF BICYCLE PARKING SPACES EXCEEDS 50 SPACES, A MIN OF 2% OF THE TOTAL REQUIRED MUST BE WITHIN AN ENCLOSED AREA		
BICYCLE PARKING SPACES:	REQUIRED	PROPOSED
APARTMENT DWELLINGS	0	328
TOWNHOUSES	0	44
TOTAL SPACES:	0	372
INDOOR STORAGE (25% MINI)	372	
OUTDOOR STORAGE	0	
NOTE: ALL INDOOR BICYCLE PARKING WILL BE LOCATED IN THE UNDERGROUND PARKING GARAGE		

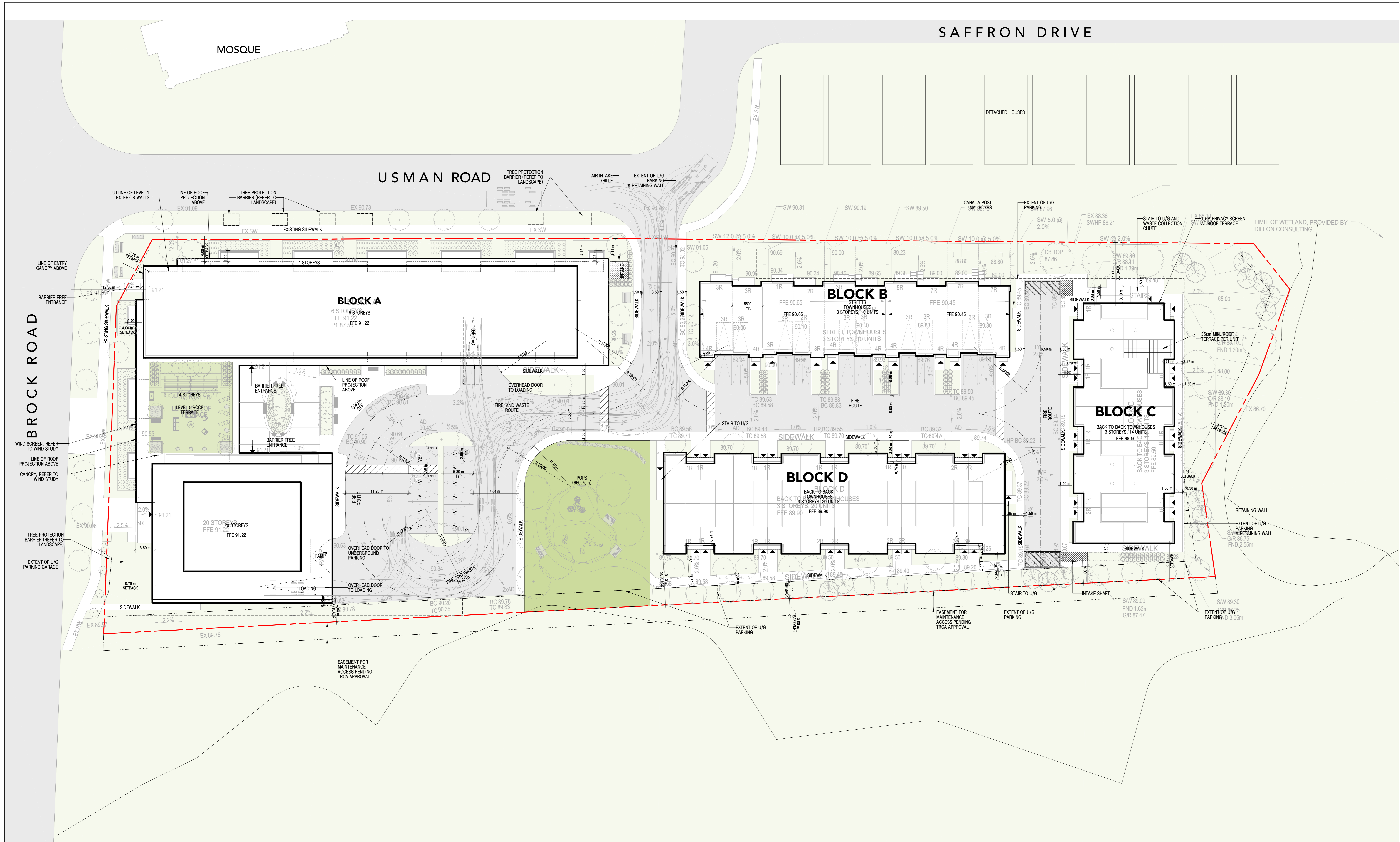
RESIDENTIAL STORAGE LOCKERS	
TOTAL LOCKERS:	280
LOADING SPACE RATES (BASED ON ZONING BY-LAW 7353/17)	
RESIDENTIAL LOADING SPACE IS 3.5m x 12m x 4.2m	
LOADING SPACES:	
REQUIRED	PROPOSED
RESIDENTIAL:	2
SURVEY INFORMATION	
PLAN SURVEY OF PART OF LOT 18, CONCESSION 2	
CITY OF PICKERING	
PREPARED BY:	VERMADEN STUBBSFIELD HARTLEY BREWER BEZARE INC.
444 OTTAWA STREET	WINDSOR ON
T: 519-258-1772	
LEGEND	
-----	COMPLETE OWNERSHIP
-----	EXTENTS OF DEVELOPMENT

Kohn

Kohn Partnership Architects Inc.
116 Spadina Avenue, Suite 501, Toronto ON M5V 2K6
Tel 416.703.6700 www.kohnarchitects.com

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SITE PLAN SYMBOL AND SIGN LEGEND:	
[Symbol]	PRINCIPLE ENTRANCE (FOR FIRE FIGHTING)
[Symbol]	ENTRANCE TO RETAIL OR GRADE RELATED RES. UNIT
[Symbol]	CATCH BASIN (REFER TO CIVIL DWGS.)
[Symbol]	AREA DRAIN (REFER TO CIVIL DWGS.)
[Symbol]	TRENCH DRAIN (REFER TO CIVIL DWGS.)
[Symbol]	MANHOLE (REFER TO CIVIL DWGS.)
[Symbol]	FIRE HYDRANT
[Symbol]	SIAMASEE (STANDPIPE) CONNECTION
[Symbol]	ACCESSIBLE PARKING SIGNAGE
[Symbol]	FIRE ROUTE SIGNAGE
[Symbol]	LIGHT STANDARD (EXTERIOR POLE FIXTURE)
[Symbol]	WALL MOUNTED EXTERIOR LIGHT FIXTURE
[Symbol]	ACCESSIBLE CURB CUT
[Symbol]	BARRIER FREE PARKING SPACE



Project: 2055 BROCK ROAD
BROCK RD DUFFINS FOREST INC.

PICKERING ON

Drawing Title: ENLARGED SITE PLAN & STATISTICS

Project Manager Team: AT_AA Project No: 17-119

Date Plotted: 2022-10-25 5:44:00 PM Scale: As indicated

Building No.: Drawing No.:

SITE PLAN 1
SCALE: 1 : 250 A1 01

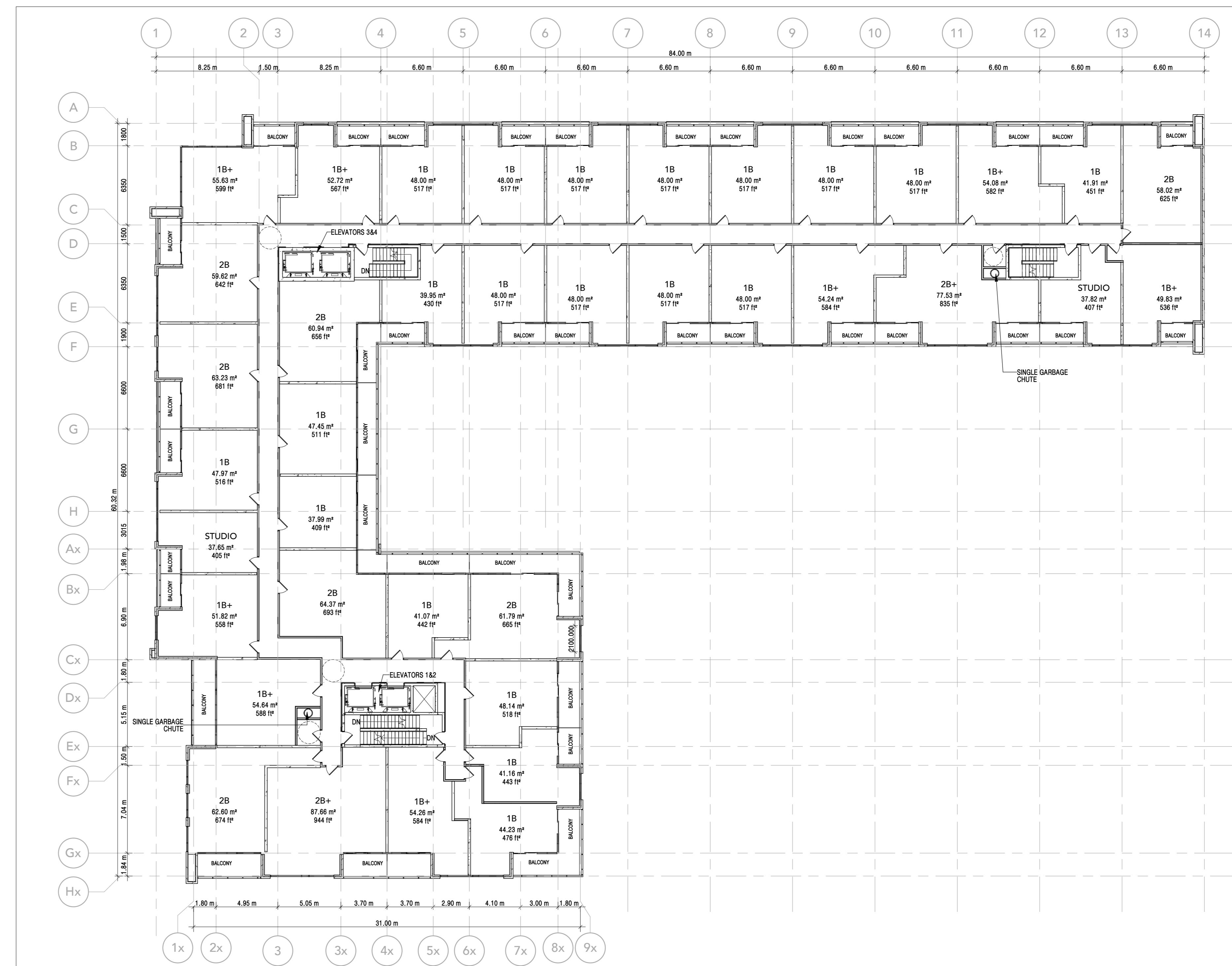
A1 01

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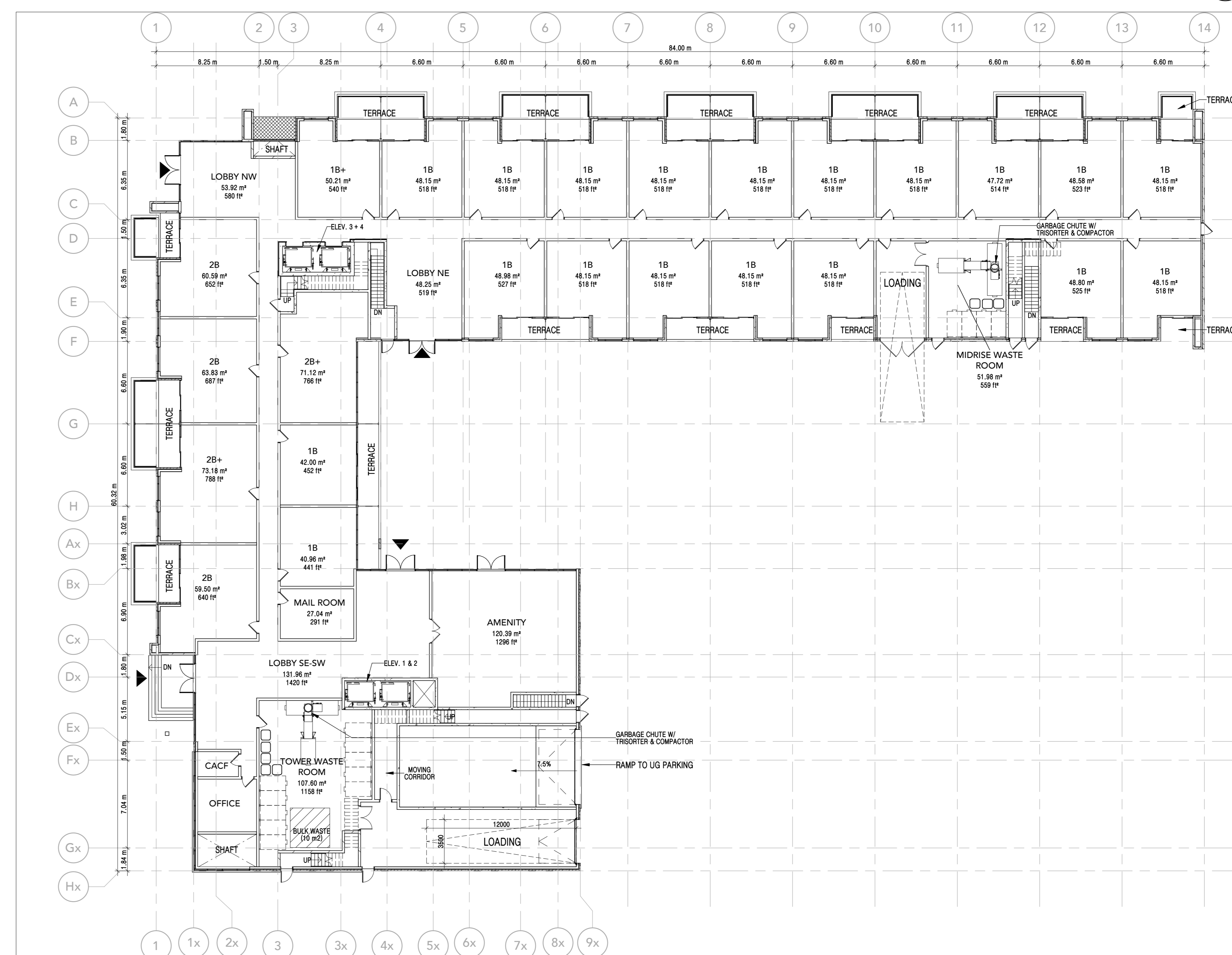
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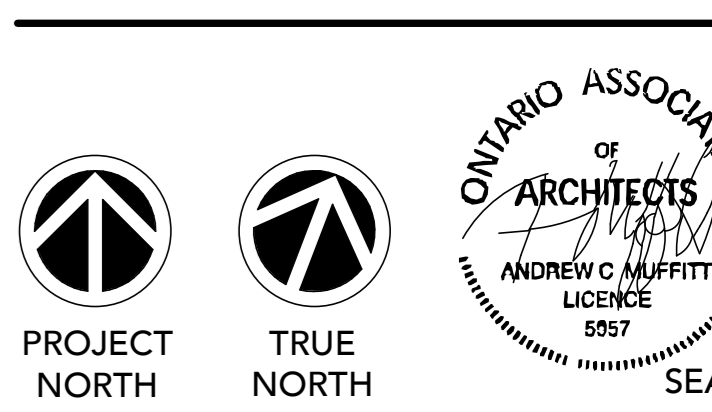
BLOCK A - LEVEL 3-4 3
SCALE: 1 : 200 A2 01



FLOOR PLAN - LEVEL 1 1
SCALE: 1 : 200 A2 01

FLOOR PLAN (ABOVE GRADE) LEGEND:

[Symbol]	AREA DRAIN (REFER TO MECH. DWGS.)
[Symbol]	FLOOR DRAIN (REFER TO MECH. DWGS.)
[Symbol]	ROOF DRAIN (REFER TO MECH. DWGS.)
[Symbol]	TRENCH DRAIN (REFER TO CIVIL DWGS.)
[Symbol]	WALL MOUNTED EXTERIOR LIGHT FIXTURE
[Symbol]	WARNING SYSTEM FOR MOTORISTS
[Symbol]	AUTO OPERATORS
[Symbol]	ELECTRICAL PANEL
[Symbol]	CONVEX MIRROR
[Symbol]	PAINTED YELLOW LINES (PEDESTRIAN PATHWAYS)
[Symbol]	SMAMEE STANDOFFS CONNECTION
[Symbol]	FIRE HOSE CABINET
[Symbol]	STANDPIPE HOSE VALVE CABINET
[Symbol]	FIRE EXTINGUISHER CABINET
[Symbol]	EXTENTS OF BUILDING ABOVE
[Symbol]	BARRIER FREE TURNING RADIUS



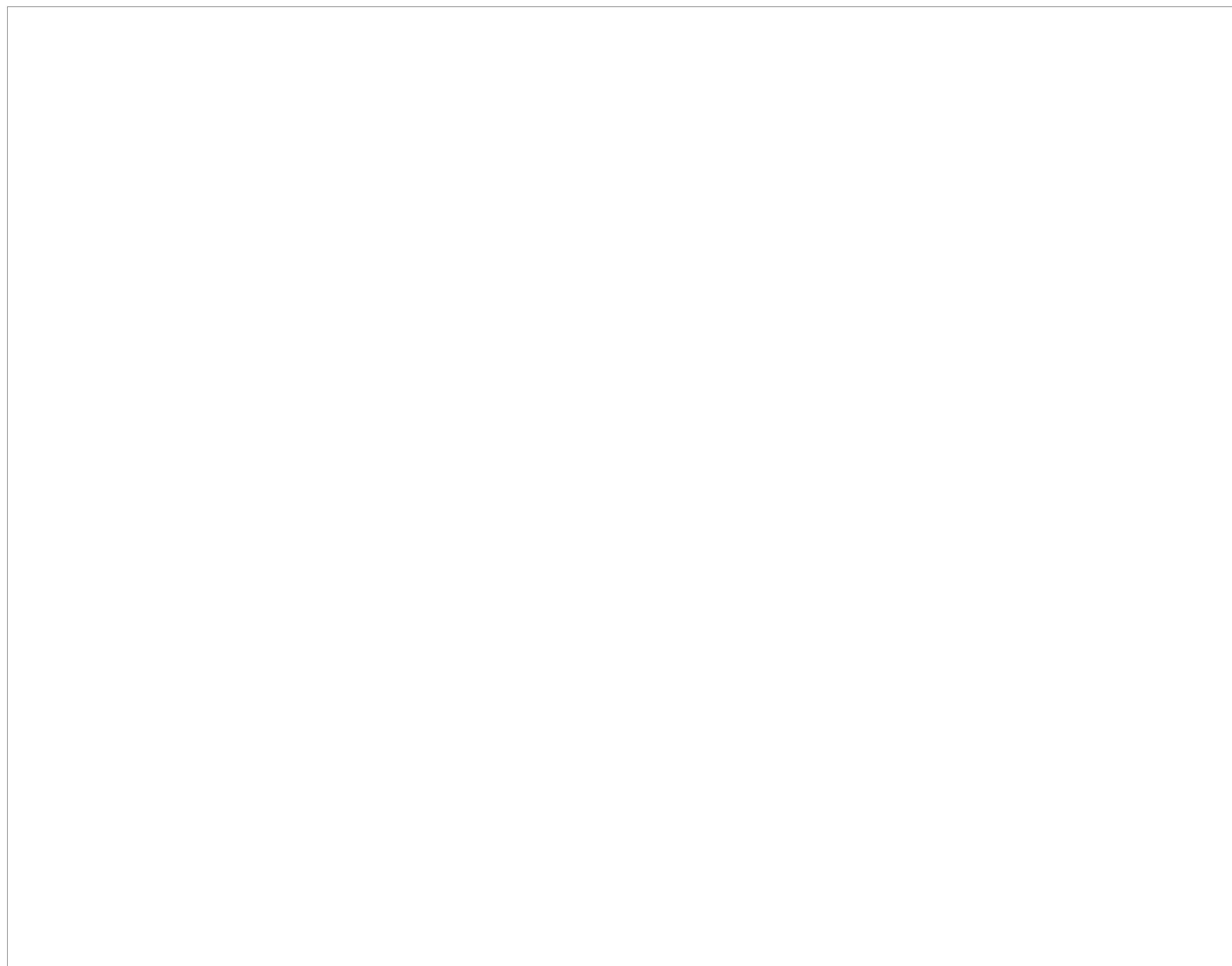
PROJECT NORTH TRUE NORTH

2055 BROCK ROAD
BROCK RD DUFFINS FOREST INC.

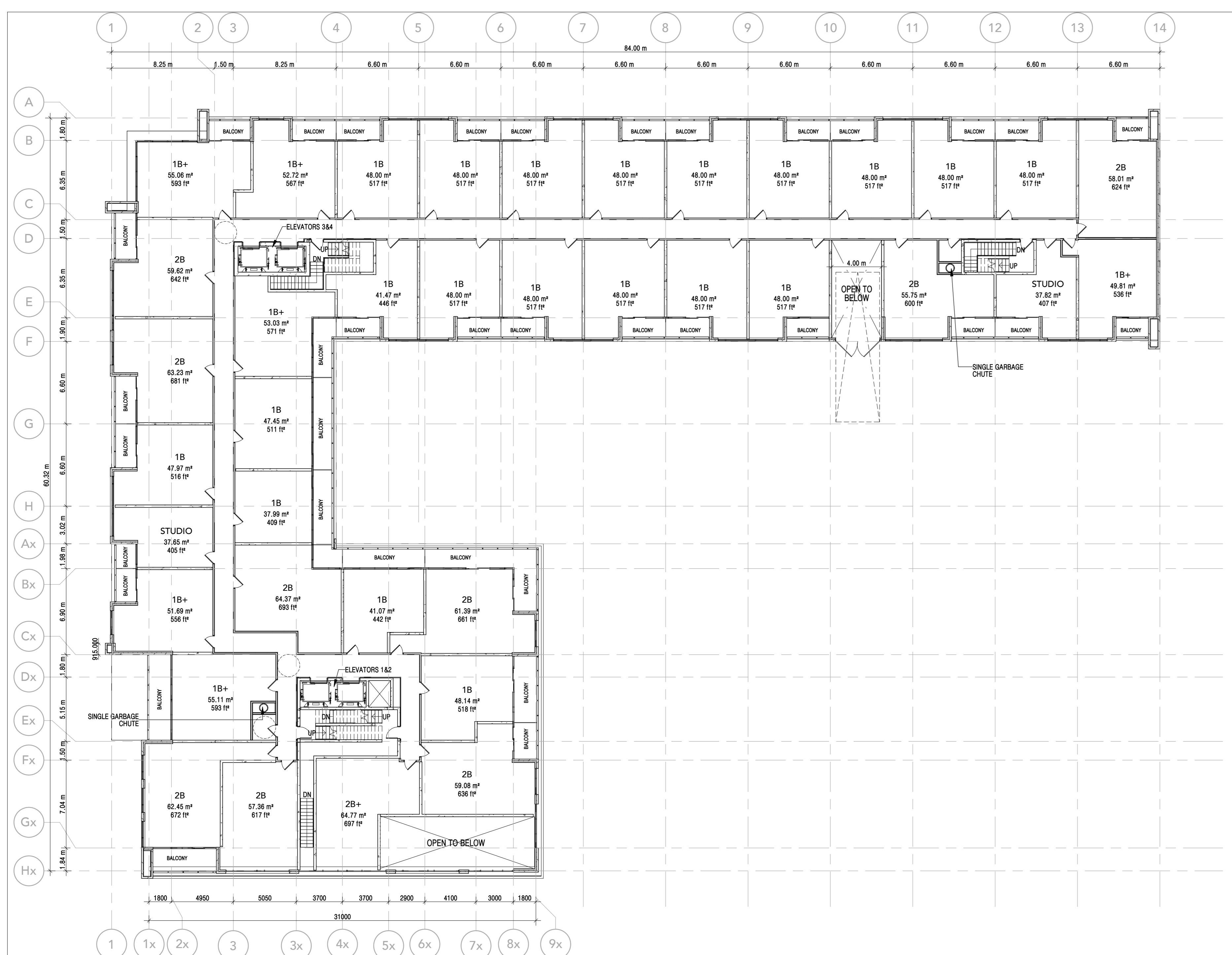
PICKERING ON
Drawing Title:
BLOCK A - LEVEL 1, 2, 3-4

Project Manager Team: AT,AA
Date Plotted: 2022-10-25 5:44:26 PM
Building No.:
Project No.: 17-119
Scale: As indicated
Drawing No.: A

A A2 01



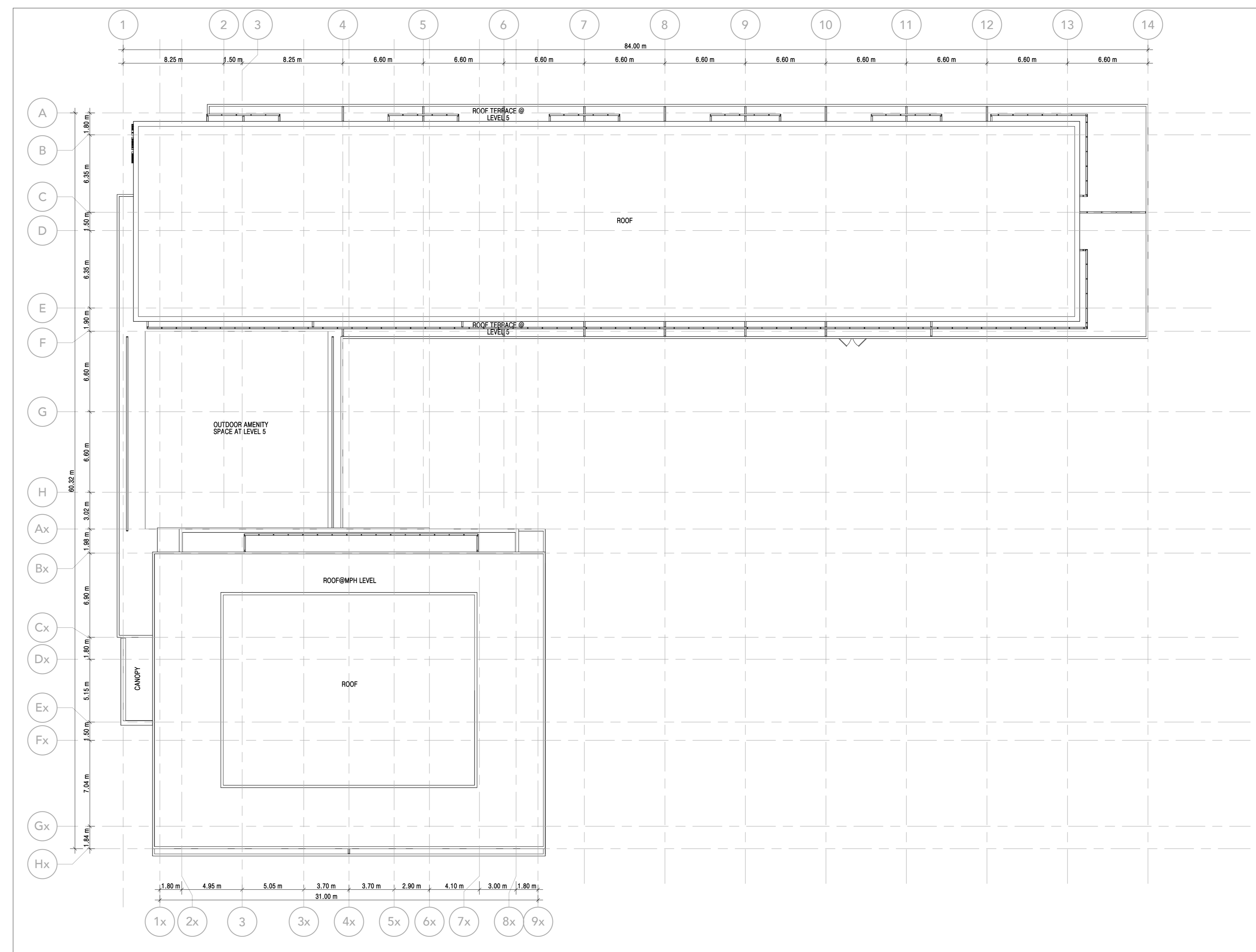
BLOCK A - LEVEL 2 2
SCALE: 1 : 200 A2 01



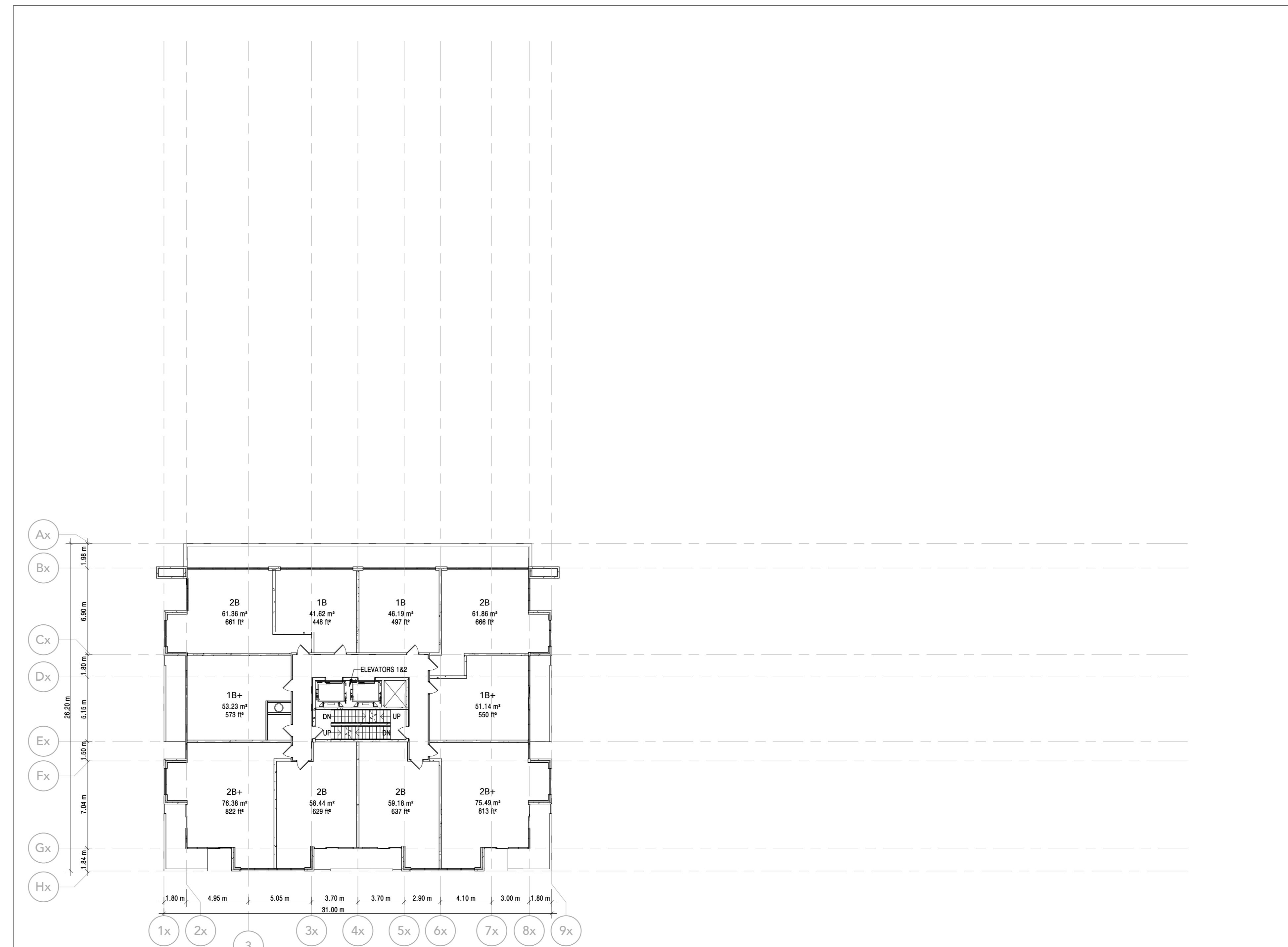
BLOCK A - LEVEL 1 1
SCALE: 1 : 200 A2 01

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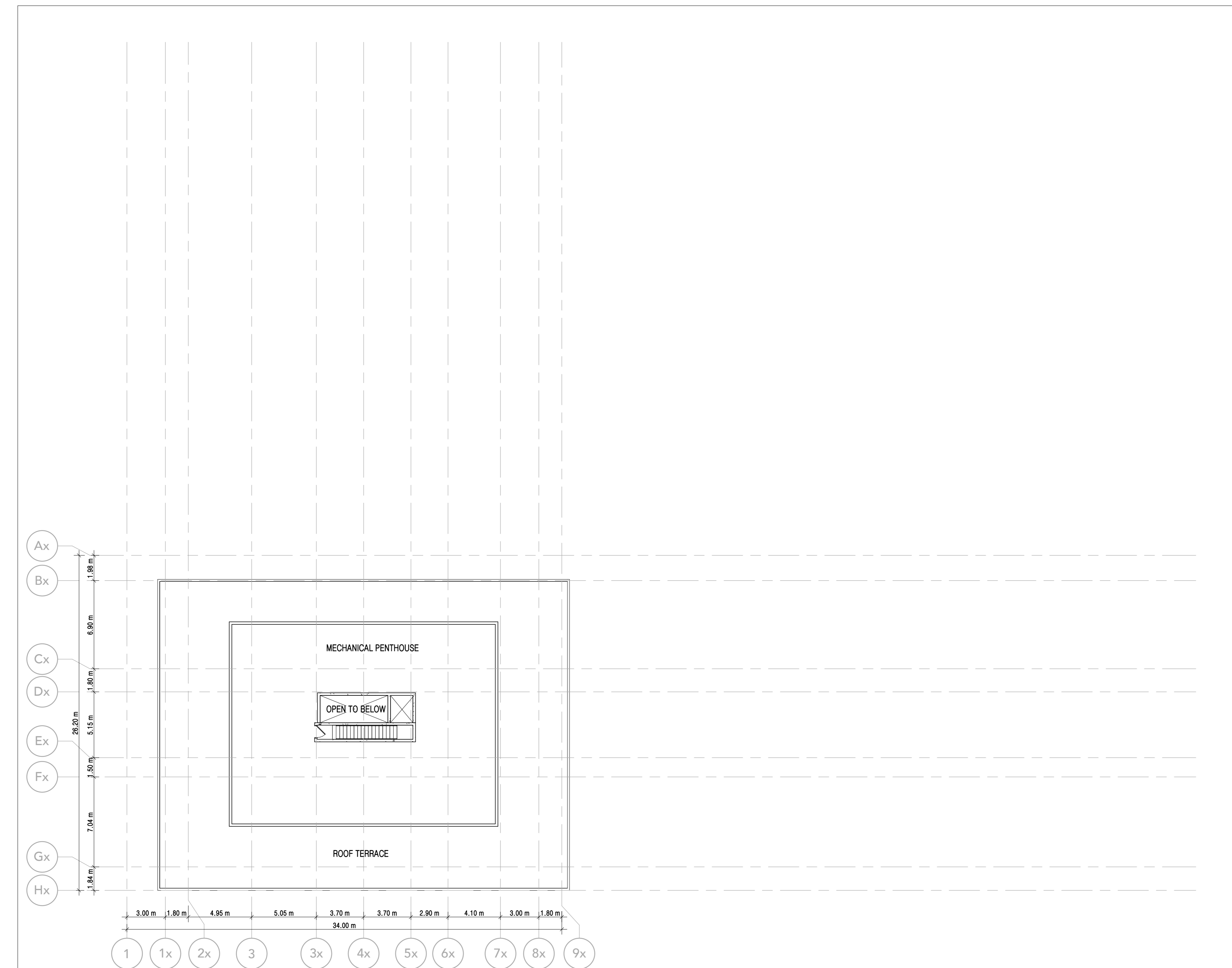
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BLOCK A - ROOF PLAN 1
SCALE: 1 : 200 A2.03



BLOCK A - LEVEL 19-20, ROOF PLAN 2
SCALE: 1 : 200 A2.03



BLOCK A - MPH 3
SCALE: 1 : 200 A2.03



PROJECT NORTH TRUE NORTH SEAL

Project: **2055 BROCK ROAD**

BROCK RD DUFFINS FOREST INC.

PICKERING ON

Drawing Title: **BLOCK A - LEVEL 19-20, ROOF PLAN**

Project Manager Team: AT_AA Project No: 17-119

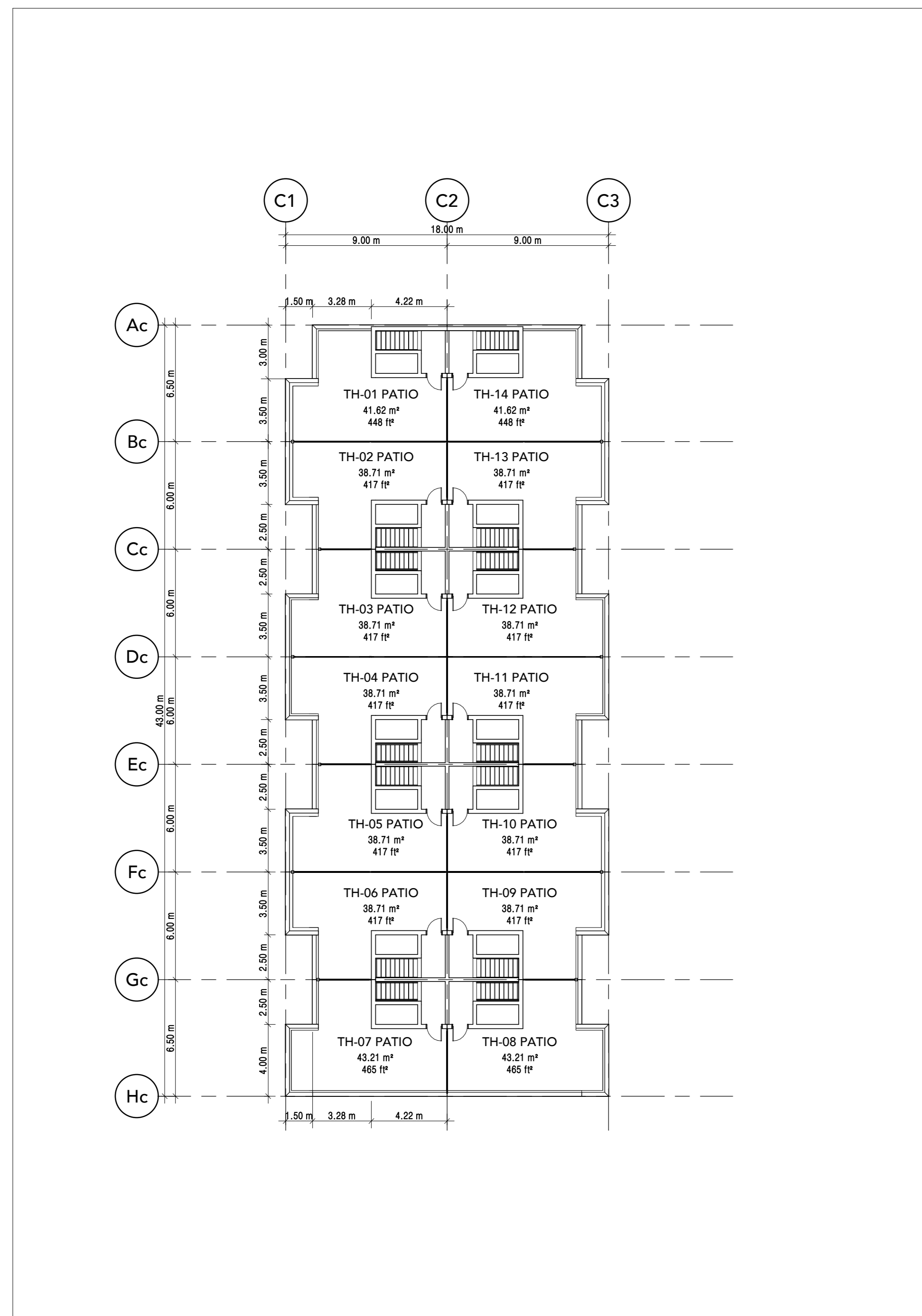
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Drawing No.: 1 : 200

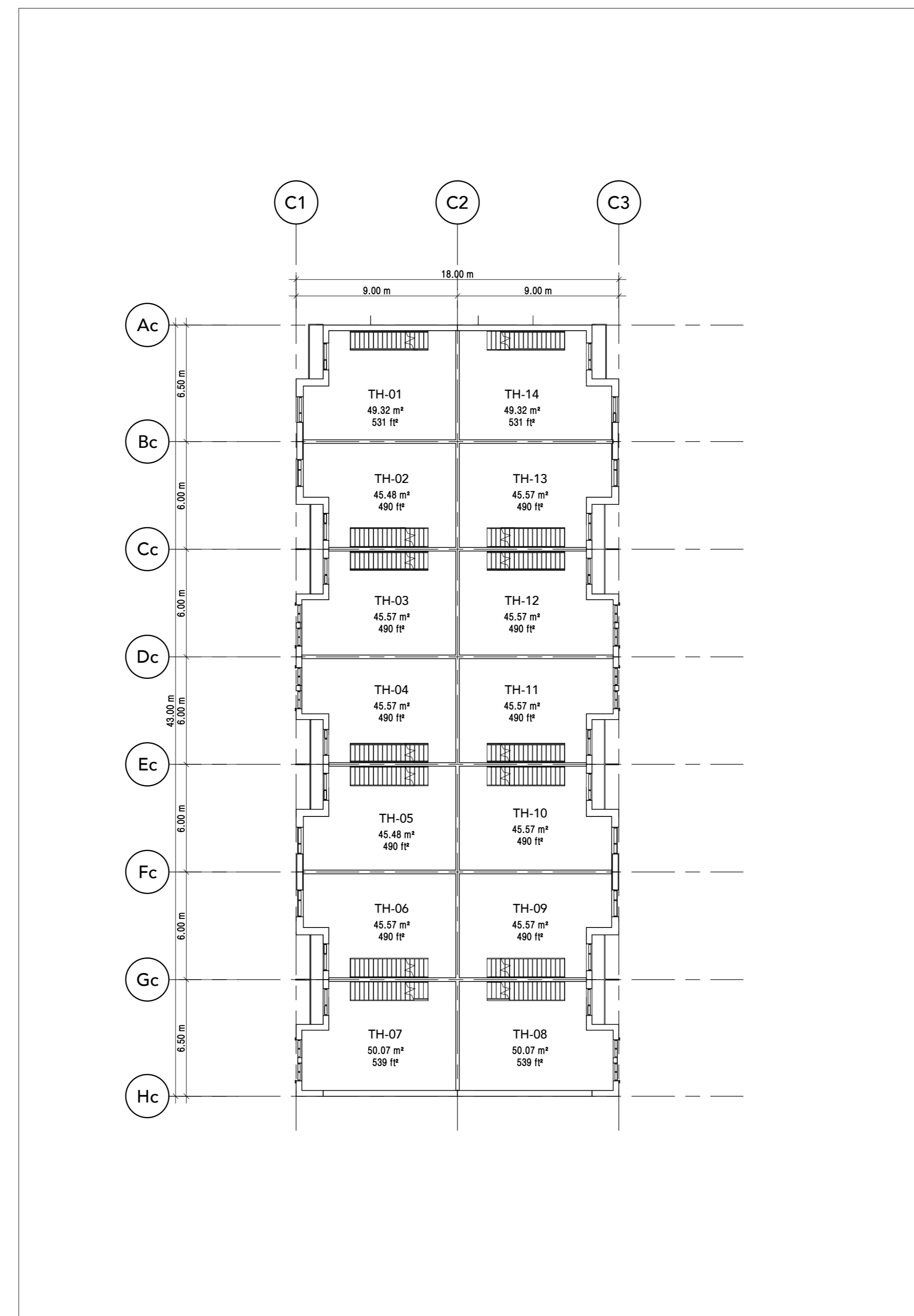
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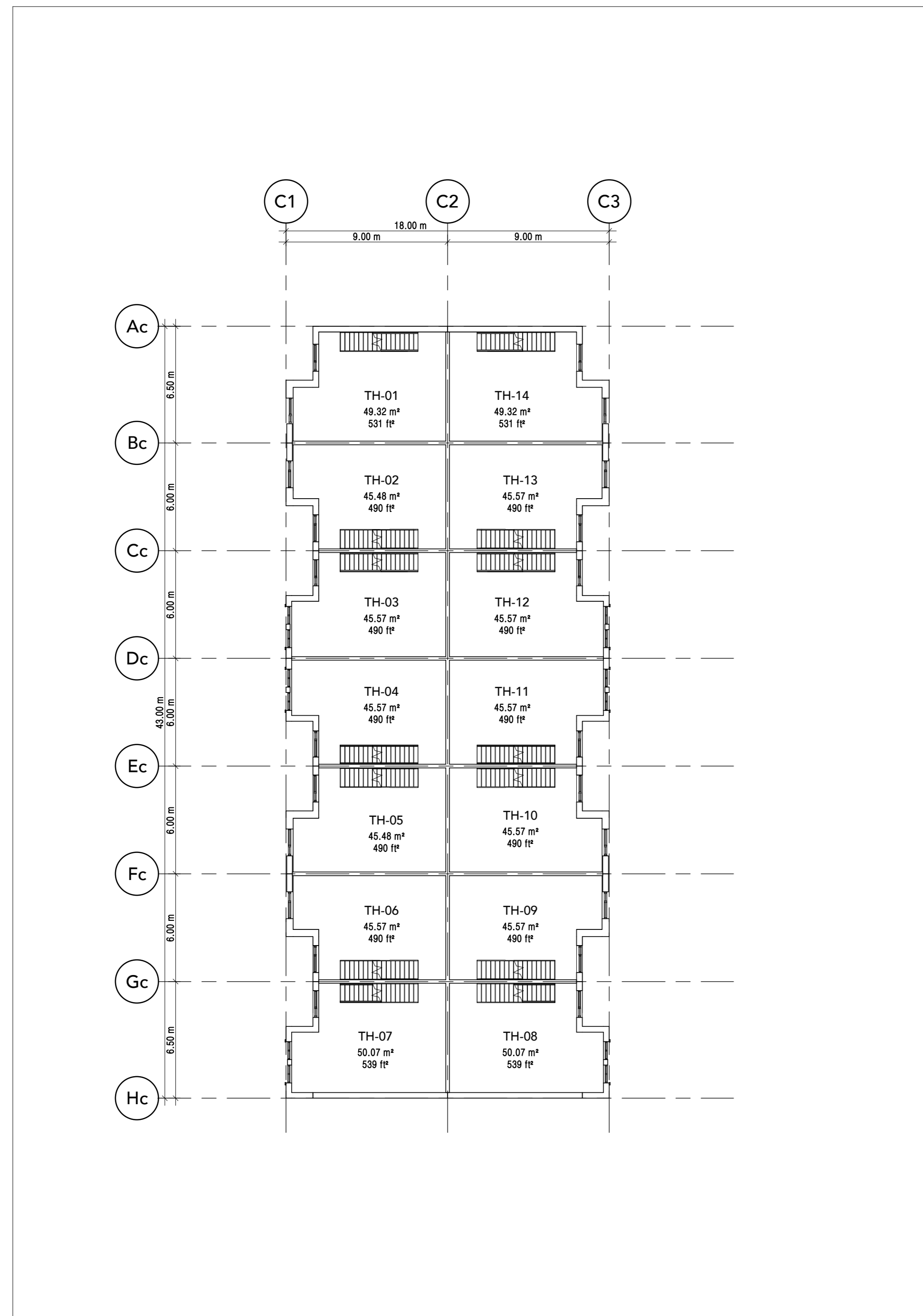
BUILDING B AC UNITS TO BE LOCATED IN THE BACKYARD, TYPICAL
BUILDING C & D AC UNITS TO BE LOCATED AT THE ROOFTOP LEVEL



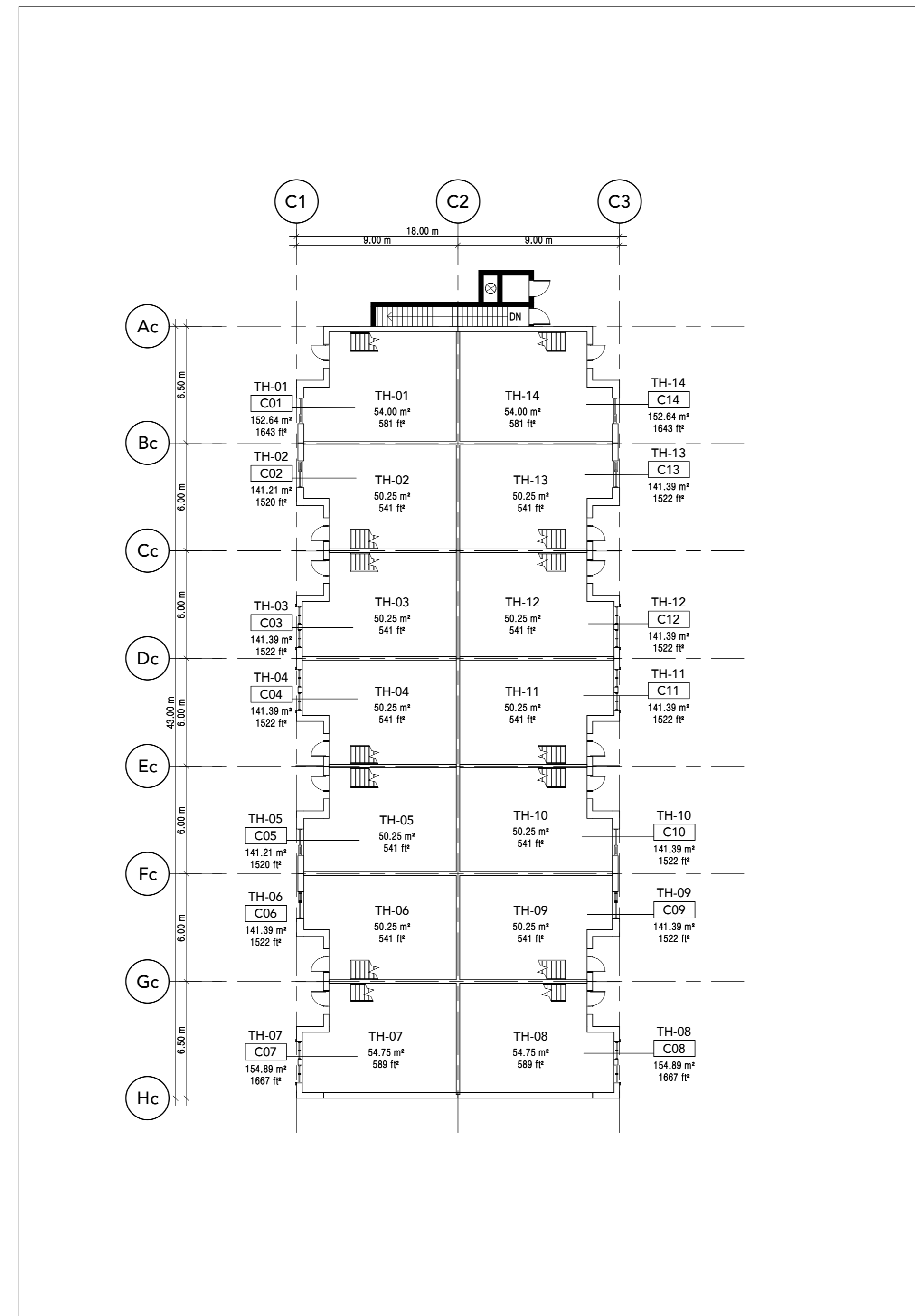
BLOCK C - ROOFTOP TERRACE PLAN 8
SCALE: 1 : 200 A2 04



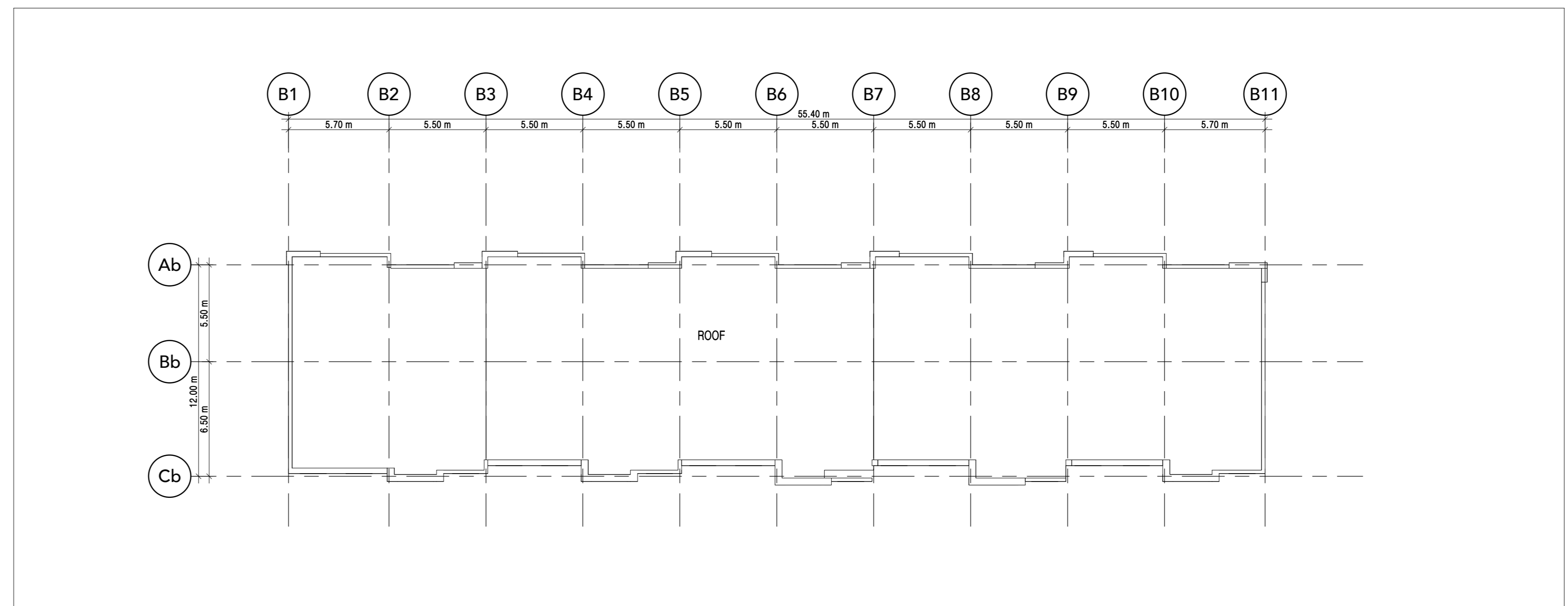
BLOCK C - LEVEL 2 6
SCALE: 1 : 200 A2 04



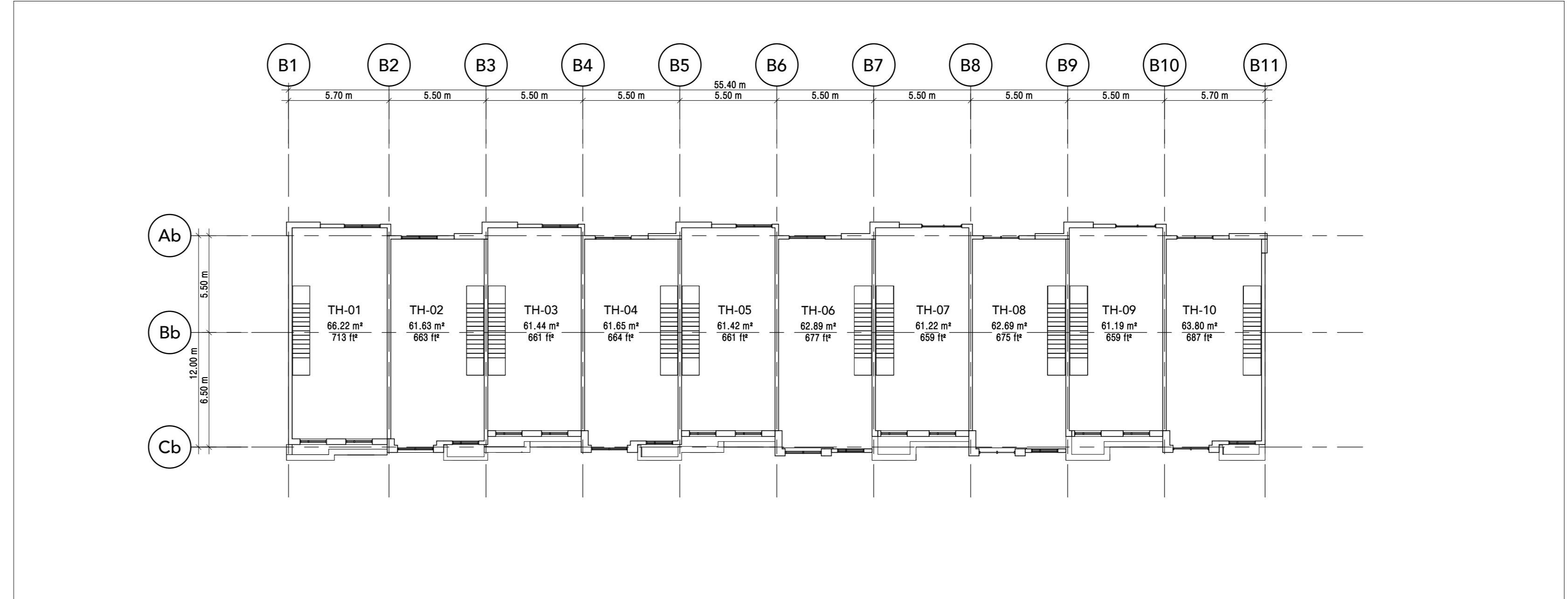
BLOCK C - LEVEL 3 7
SCALE: 1 : 200 A2 04



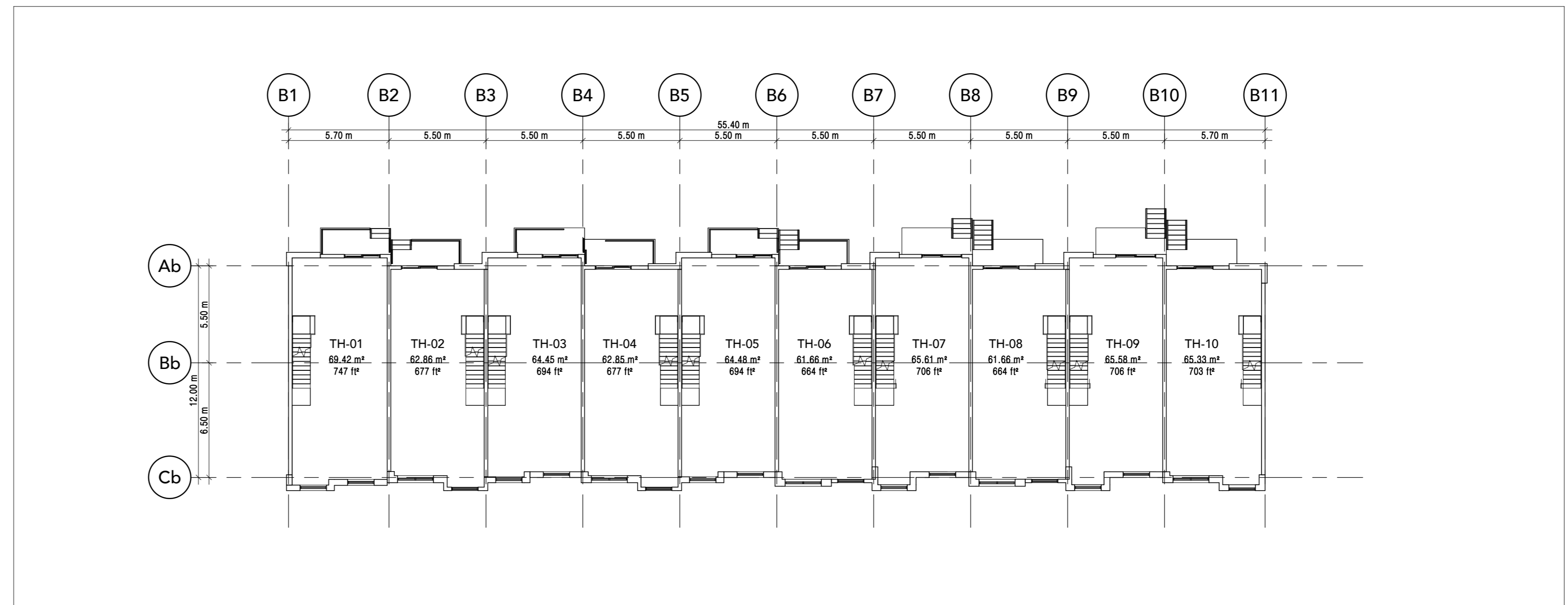
BLOCK C - LEVEL 1 5
SCALE: 1 : 200 A2 04



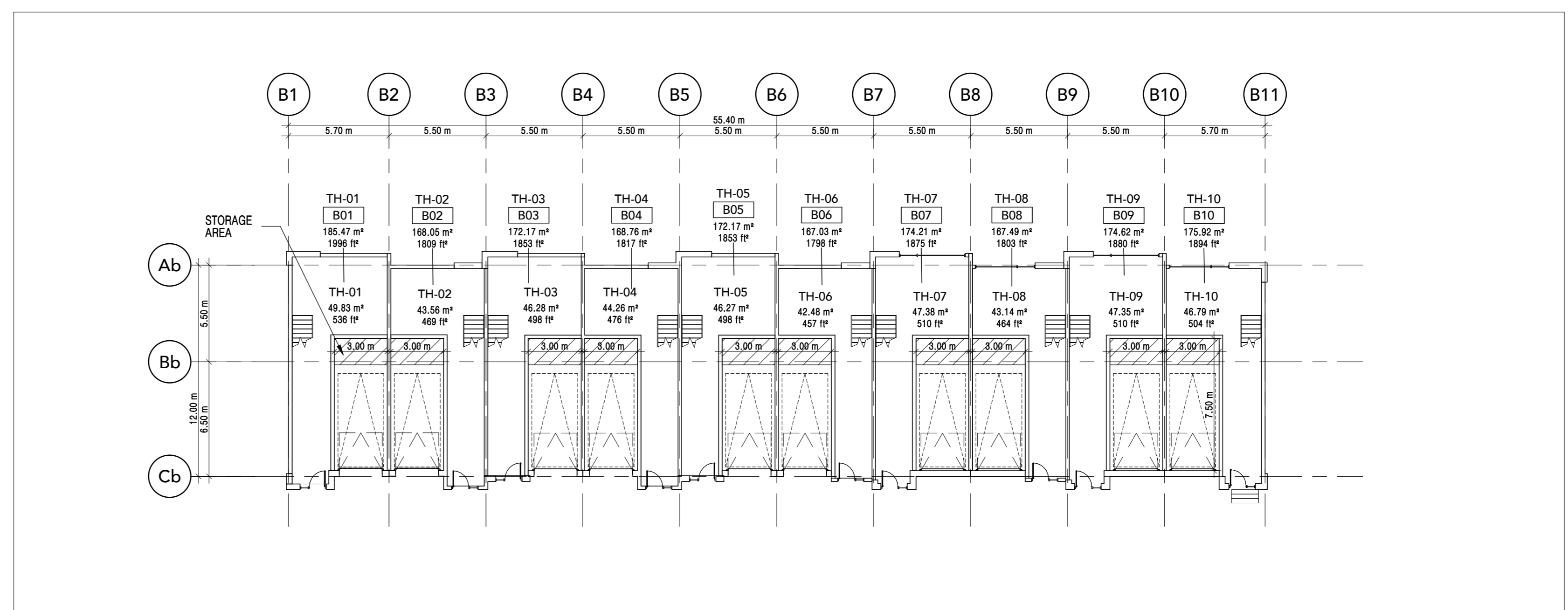
BLOCK B - ROOF 4
SCALE: 1 : 200 A2 04



BLOCK B - LEVEL 3 3
SCALE: 1 : 200 A2 04



BLOCK B - LEVEL 2 2
SCALE: 1 : 200 A2 04



BLOCK B - LEVEL 1 1
SCALE: 1 : 200 A2 04



PROJECT NORTH TRUE NORTH
2055 BROCK ROAD
BROCK RD DUFFINS FOREST INC.

PICKERING ON
Drawing Title:
BLOCK B, C - FLOOR PLANS
Project Manager Team: AT,AA
Date Plotted: 2022-10-25 5:44:57 PM
Building No.:
Project No.: 17-119
Scale: 1 : 200
Drawing No.:
1 : 200

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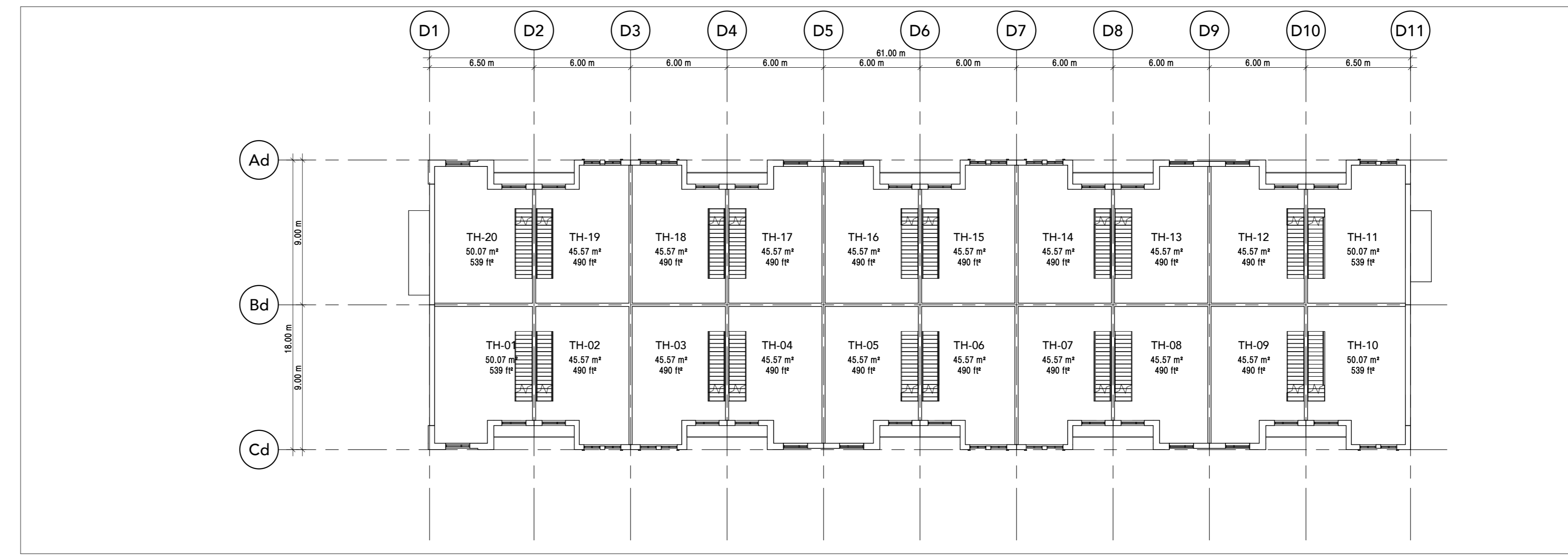
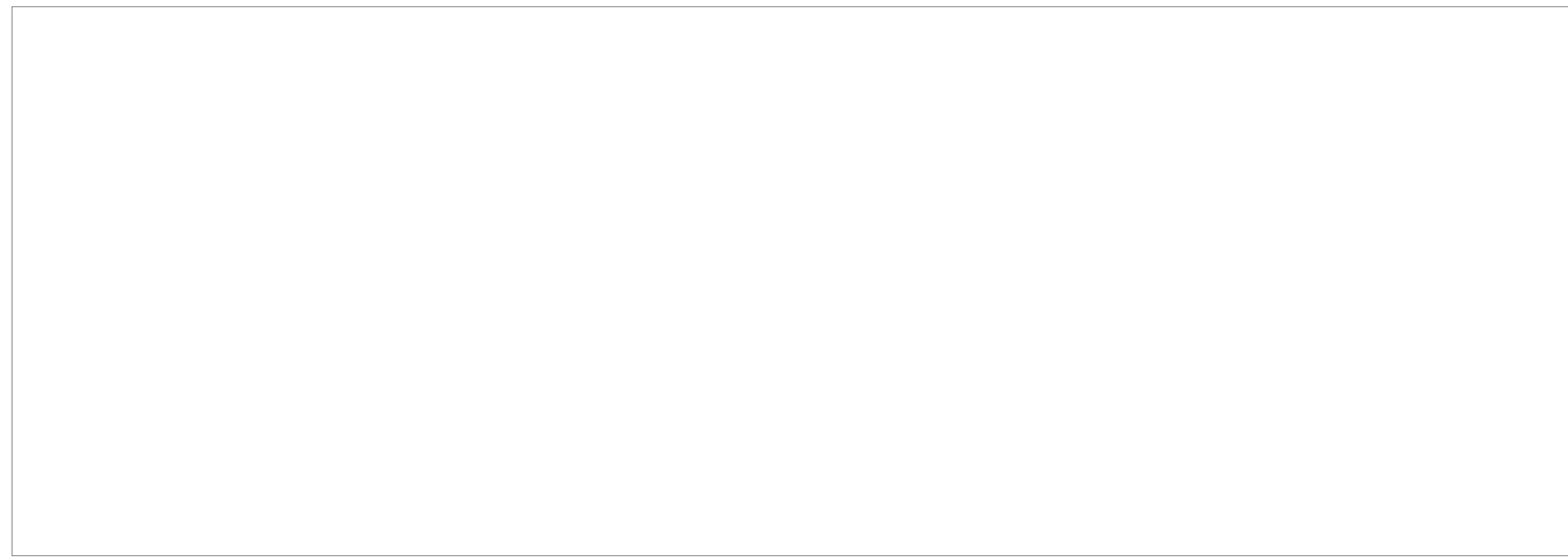
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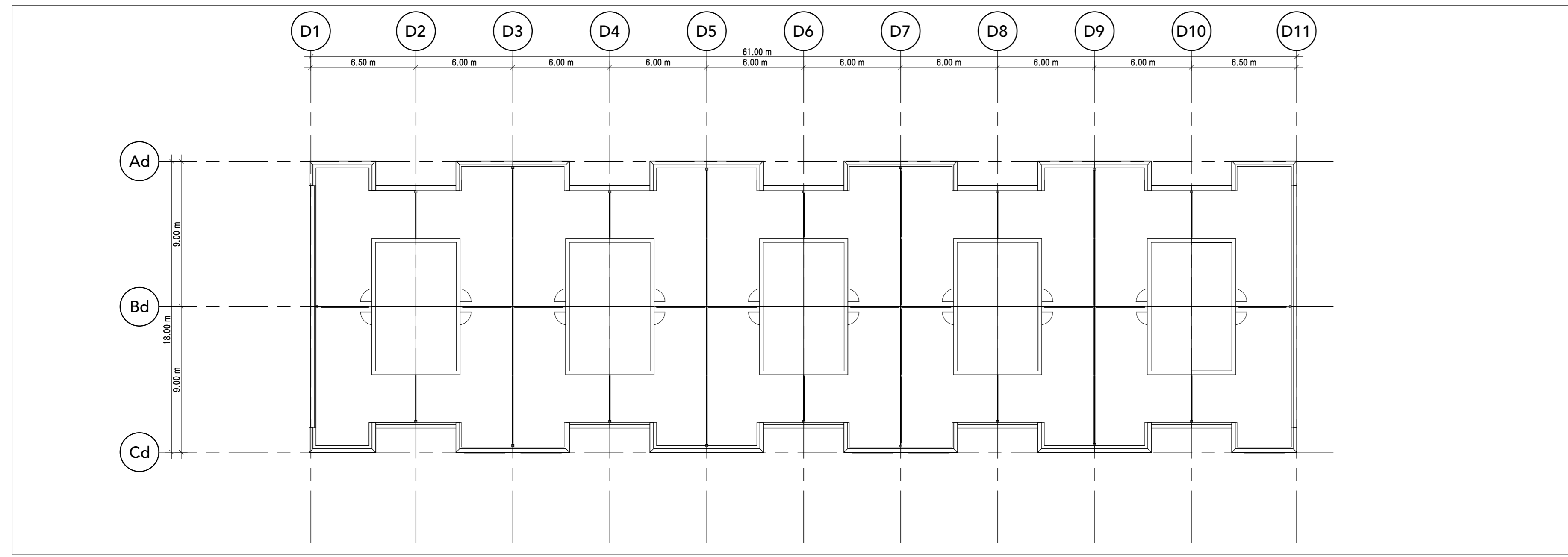
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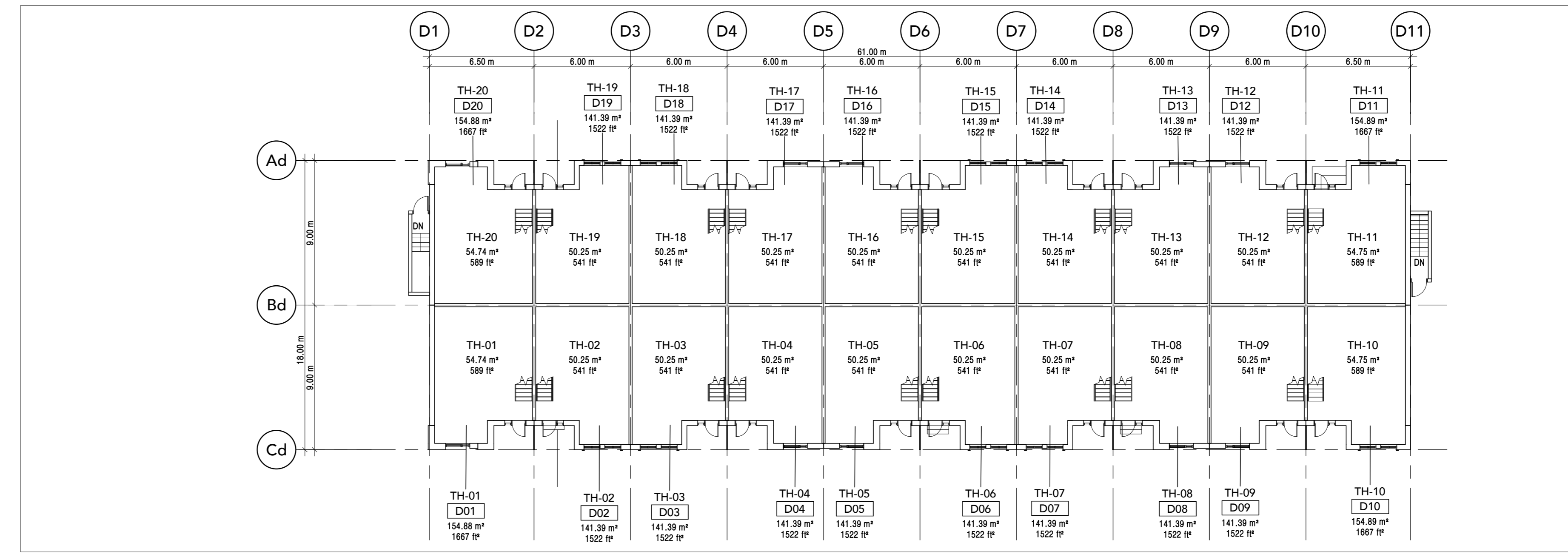
ISSUE DATES AND DISTRIBUTION LOG		
No.	Date	Note
1	2022-02-07	ZBA RESUBMISSION
2	2022-09-26	ISSUED FOR ZBA RESUBMISSION



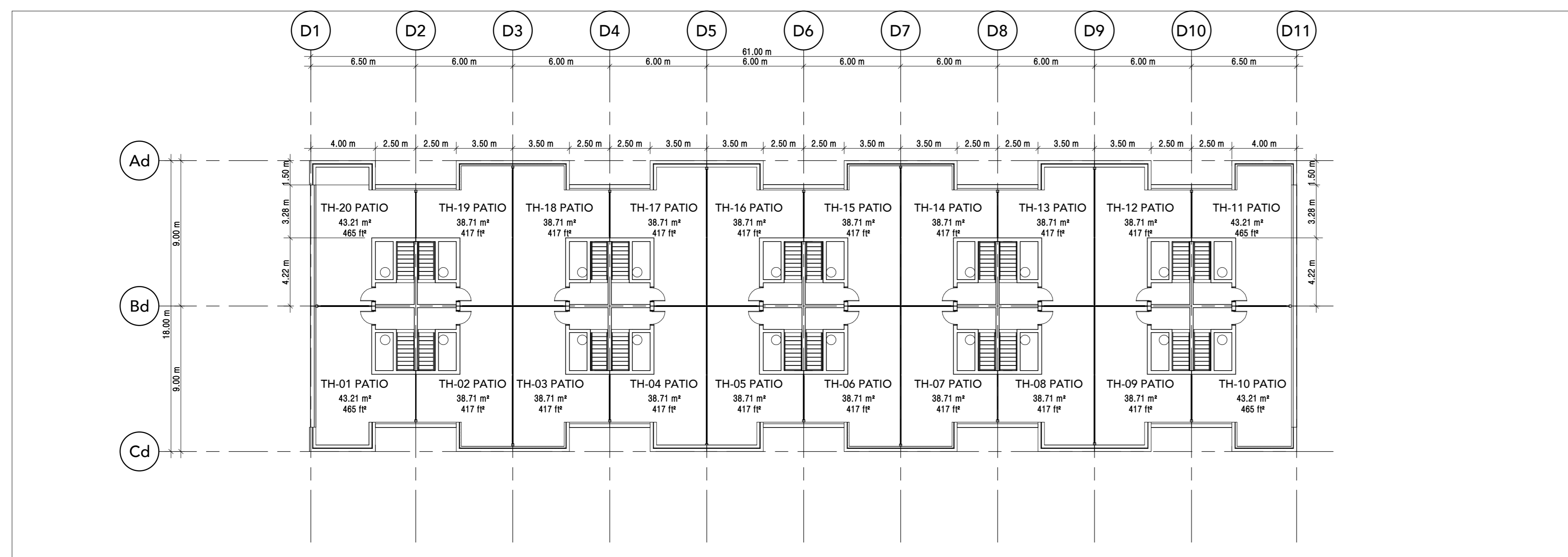
BLOCK D - LEVEL 2 3
SCALE: 1 : 200 A2 05



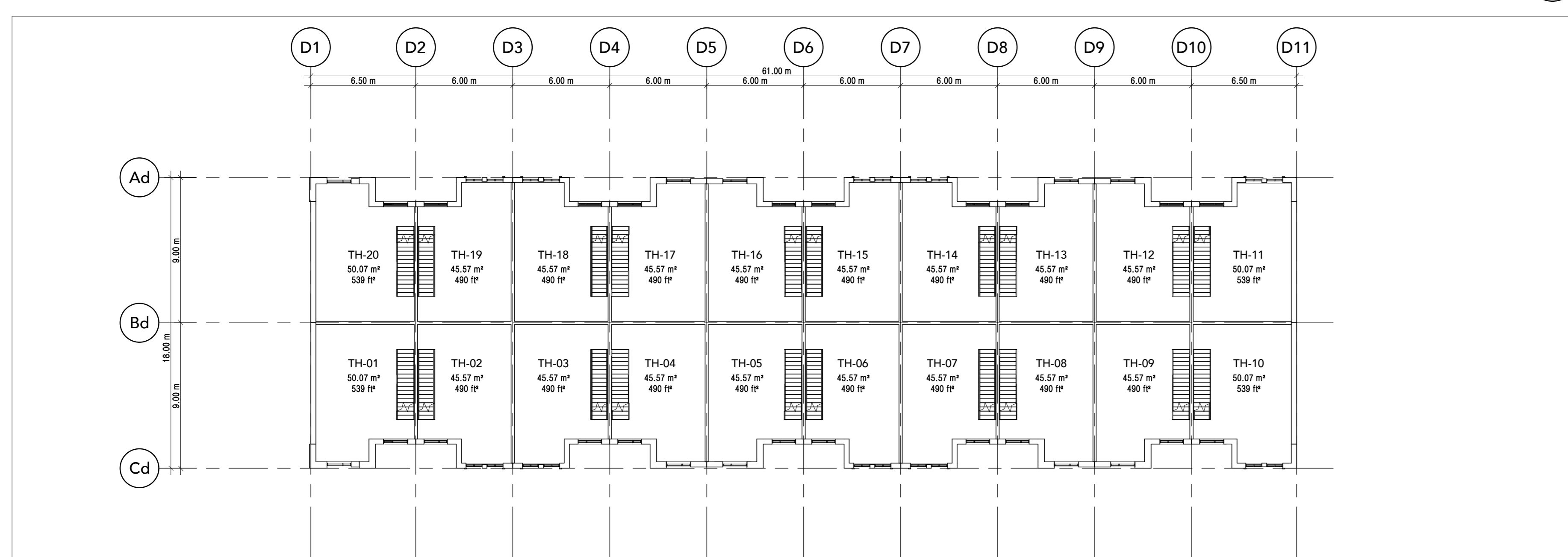
BLOCK D - ROOF PLAN 6
SCALE: 1 : 200 A2 05



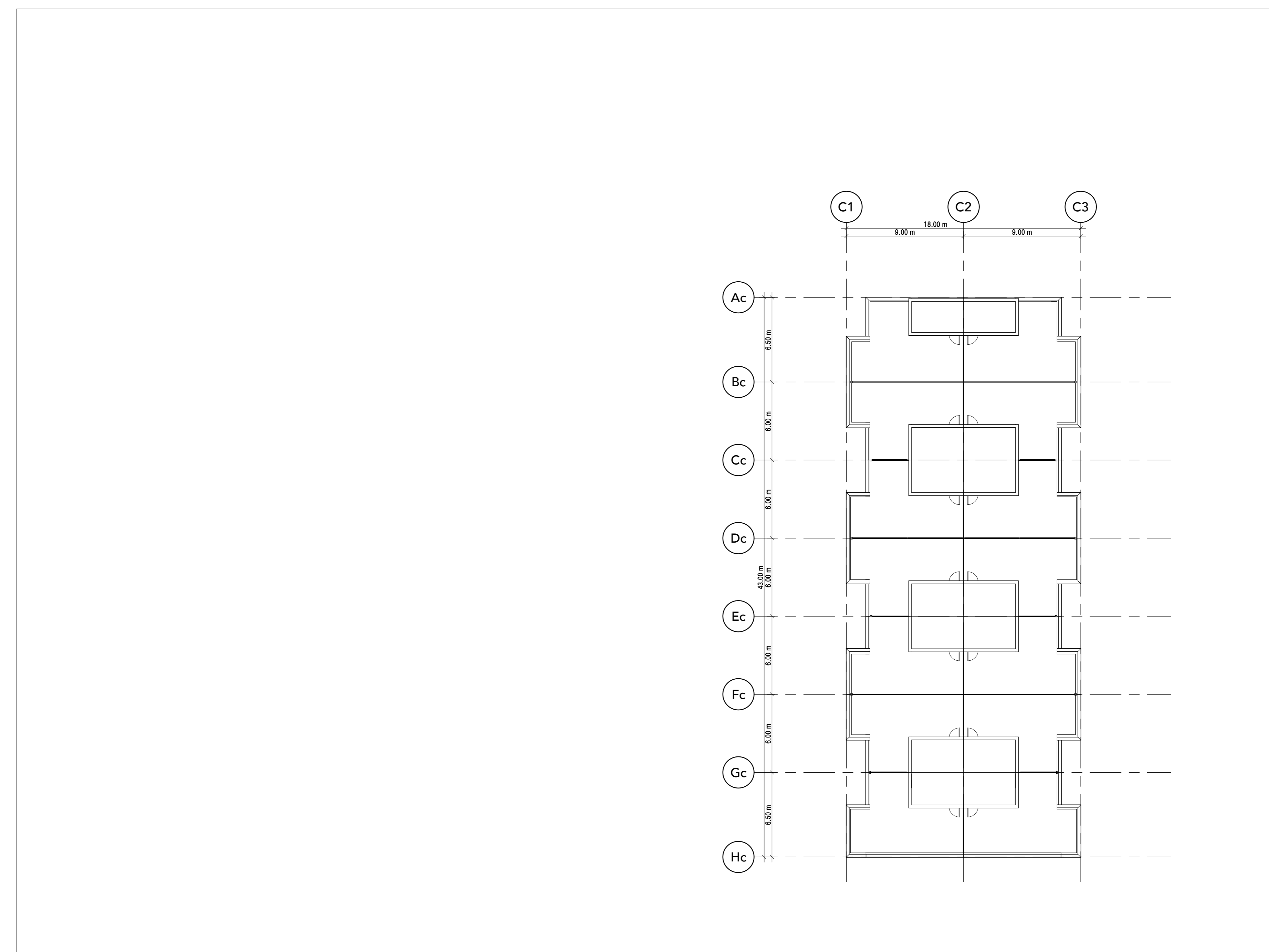
BLOCK D - LEVEL 1 2
SCALE: 1 : 200 A2 05



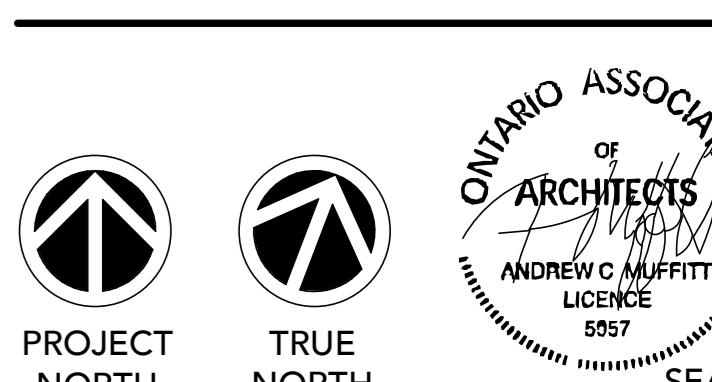
BLOCK D - ROOFTOP TERRACE 5
SCALE: 1 : 200 A2 05



BLOCK D - LEVEL 3 4
SCALE: 1 : 200 A2 05



BLOCK C - ROOF PLAN 1
SCALE: 1 : 200 A2 05



PROJECT NORTH TRUE NORTH

2055 BROCK ROAD
BROCK RD DUFFINS FOREST INC.

PICKERING ON
Drawing Title:
BLOCK D - FLOOR PLANS

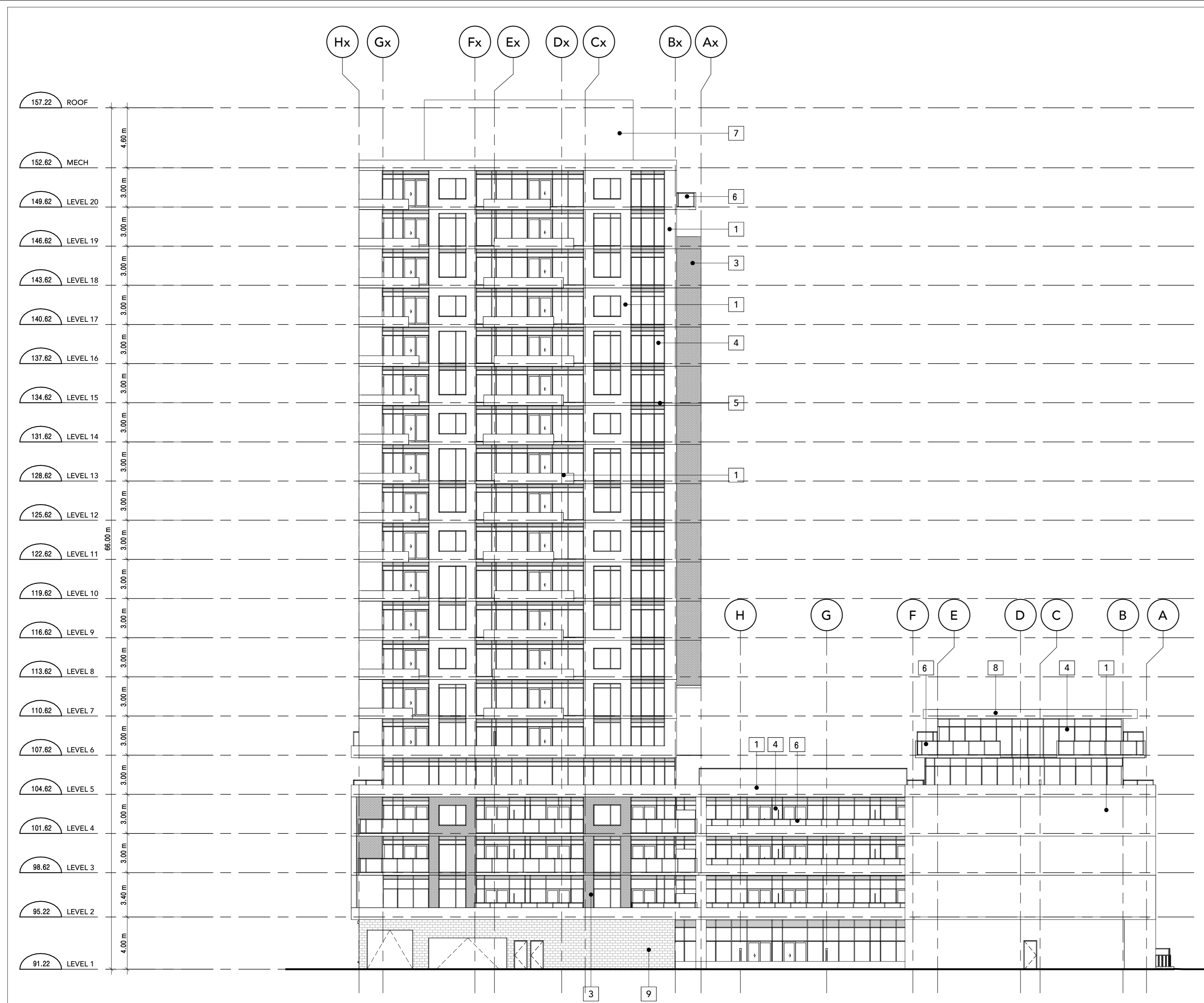
Project Manager Team: AT,AA
Date Plotted: 2022-10-25 5:45:10 PM
Scale: 1 : 200
Project No: 17-119

A2 05

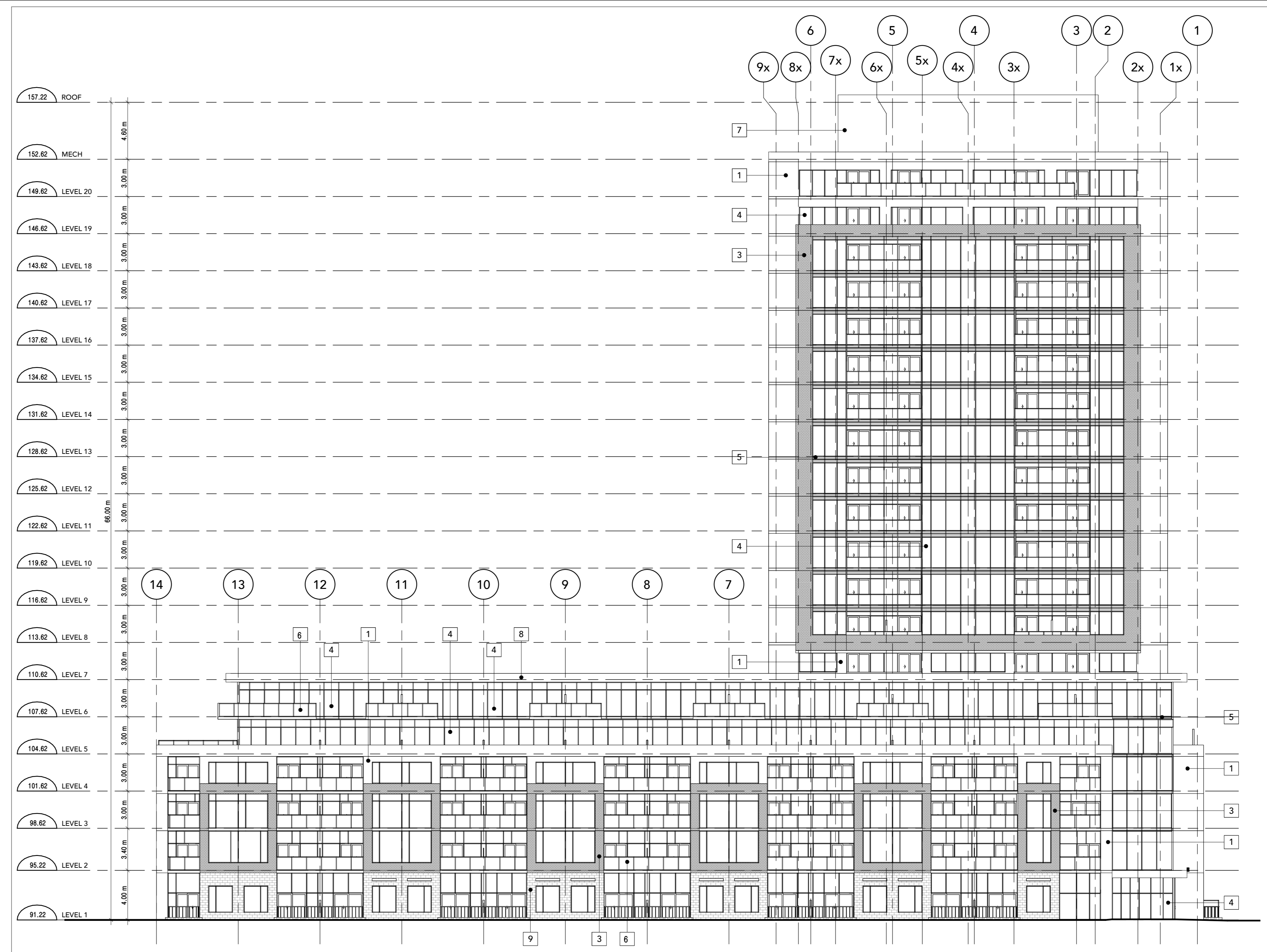
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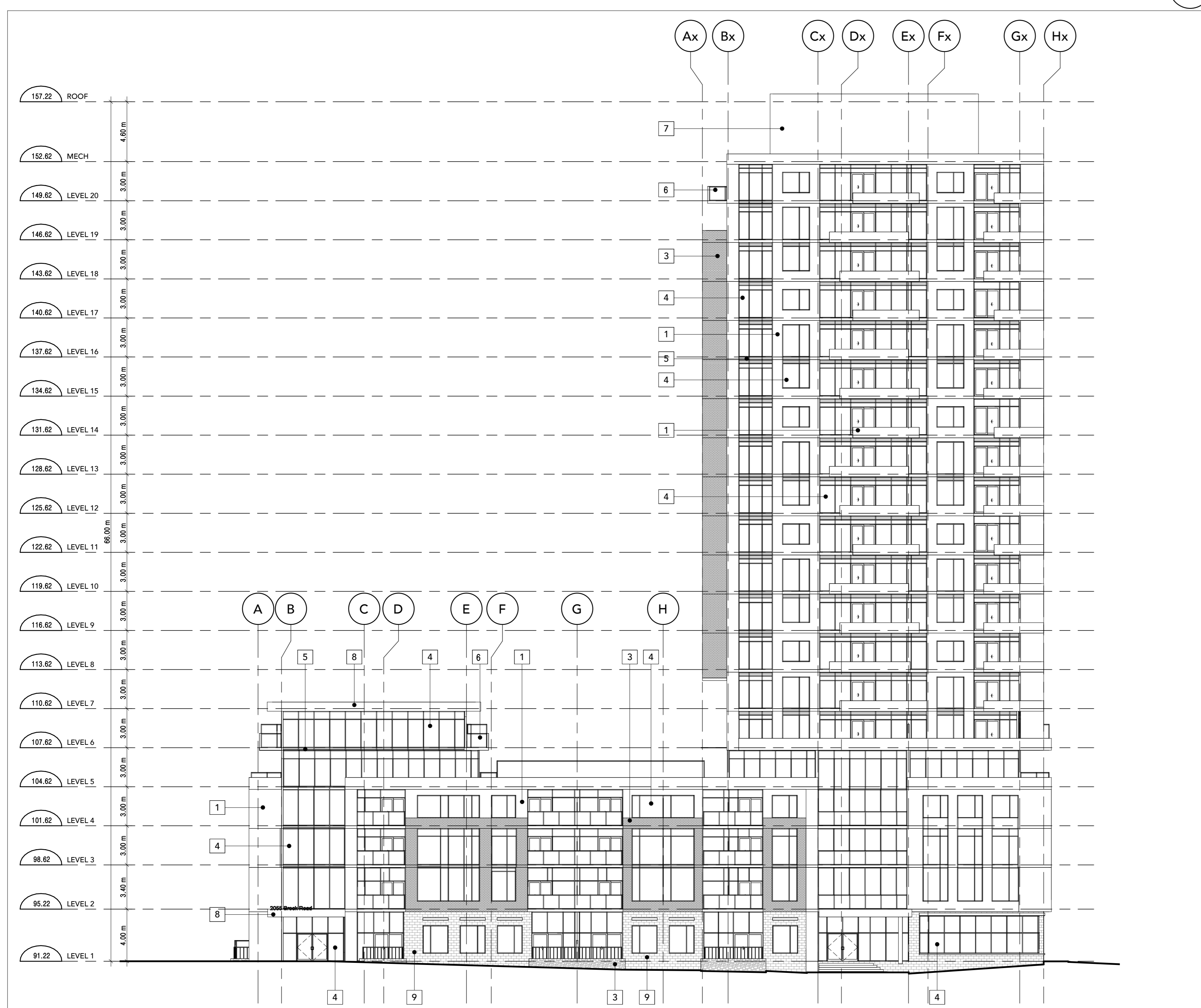
ISSUE DATES AND DISTRIBUTION LOG		
No.	Date	Note
1	2020-02-20	ISSUED FOR COORDINATION
2	2020-04-03	ISSUED FOR ZBA #1
3	2022-02-07	ISSUED FOR ZBA RESUBMISSION
4	2022-09-26	ISSUED FOR ZBA RESUBMISSION



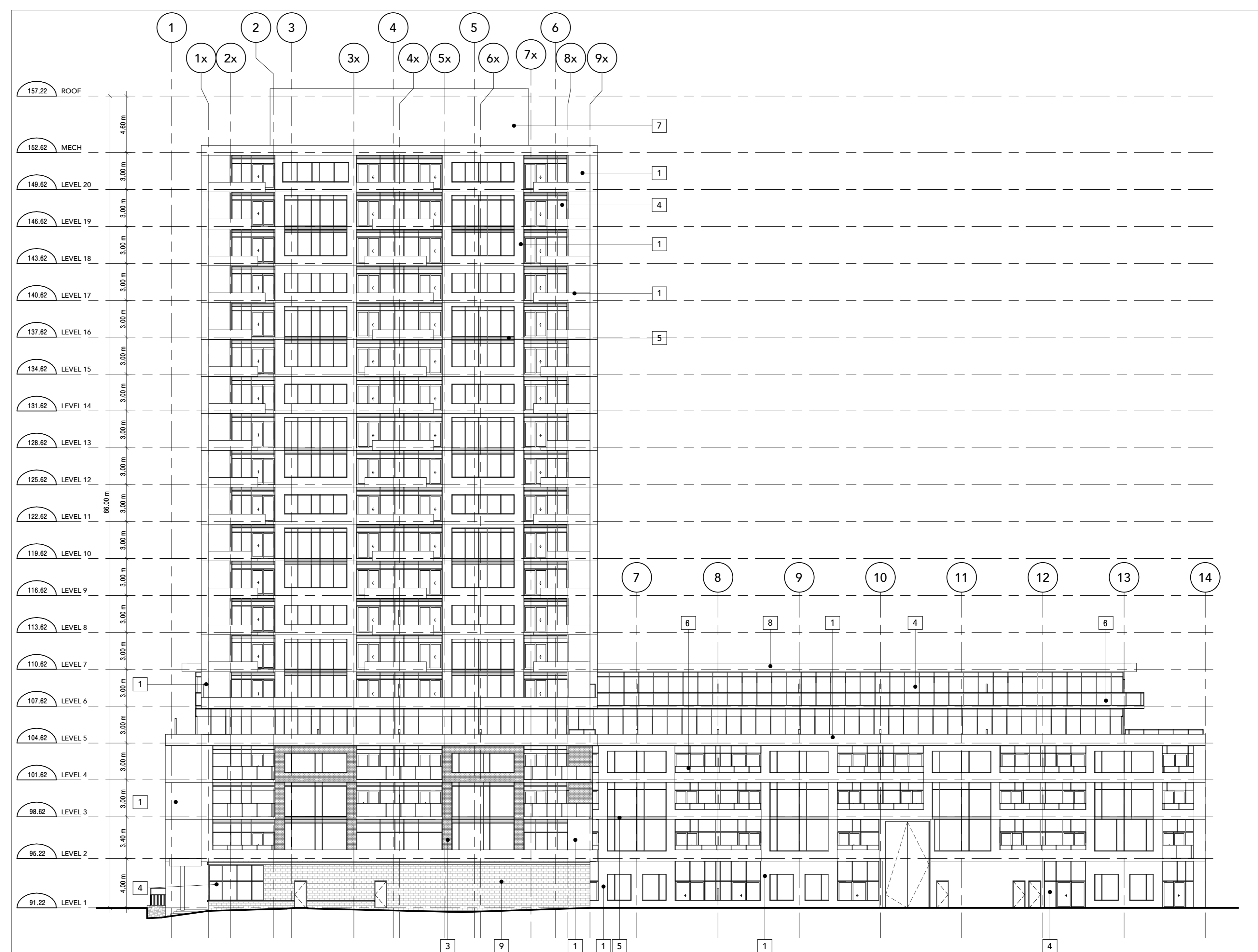
EAST ELEVATION 2
SCALE: 1 : 200 A4 00



NORTH ELEVATION 3
SCALE: 1 : 200 A4 00

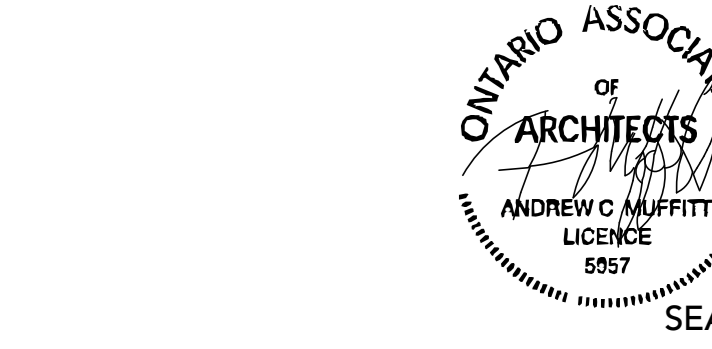


WEST ELEVATION 1
SCALE: 1 : 200 A4 00



SOUTH ELEVATION 4
SCALE: 1 : 200 A4 00

MATERIAL LEGEND	
1	PRECAST CONCRETE PANEL
2	METAL PANEL
3	ARCHITECTURAL STONE
4	WINDOW WALL
5	SPANDREL
6	GLASS GUARDRAIL
7	METAL SIDING
8	REFINISHED METAL
9	BRICK
10	EIFS



Project: **2055 BROCK ROAD**
BROCK RD DUFFINS FOREST INC.

PICKERING ON
Drawing Title: **BLOCK A - ELEVATIONS**

Project Manager Team: AT, AA
Date Plotted: 2022-10-25 5:46:00 PM
Building No.:
Project No.: 17-119
Scale: As indicated

A A4 00

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ISSUE DATES AND DISTRIBUTION LOG

No.	Date	Note
1	2020-02-20	ISSUED FOR COORDINATION
2	2020-04-03	ISSUED FOR ZBA #1
3	2022-02-07	ISSUED FOR ZBA RESUBMISSION
4	2022-09-26	ISSUED FOR ZBA RESUBMISSION



BLOCK C - EAST/WEST ELEVATION 2
SCALE: 1 : 100 A4 01



BLOCK B - NORTH ELEVATION 3
SCALE: 1 : 100 A4 01



BLOCK B - SOUTH ELEVATION 1
SCALE: 1 : 100 A4 01

MATERIAL LEGEND	
1	PRECAST CONCRETE PANEL
2	METAL PANEL
3	ARCHITECTURAL STONE
4	WINDOW WALL
5	SPANDREL
6	GLASS GUARDRAIL
7	METAL SIDING
8	REFINISHED METAL
9	BRICK
10	EIFS



Project: **2055 BROCK ROAD**
BROCK RD DUFFINS FOREST INC.

PICKERING ON

Drawing Title: **BLOCK B, C & D - ELEVATIONS**

Project Manager Team: AT, AA Project No: 17-119

Date Plotted: 2022-10-25 5:46:08 PM Scale: As indicated

Building No.: Drawing No.:

B A4 01

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ISSUE DATES AND DISTRIBUTION LOG		
No.	Date	Note
1	2022-02-07	ISSUED FOR ZBA RESUBMISSION
2	2022-09-26	ISSUED FOR ZBA RESUBMISSION

MATERIAL LEGEND	
[1]	PRECAST CONCRETE PANEL
[2]	METAL PANEL
[3]	ARCHITECTURAL STONE
[4]	WINDOW WALL
[5]	SPANDREL
[6]	GLASS GUARDRAIL
[7]	METAL SIDING
[8]	PREFINISHED METAL
[9]	BRICK
[10]	EPS



BLOCK D - NORTH/SOUTH ELEVATION
SCALE: 1 : 100

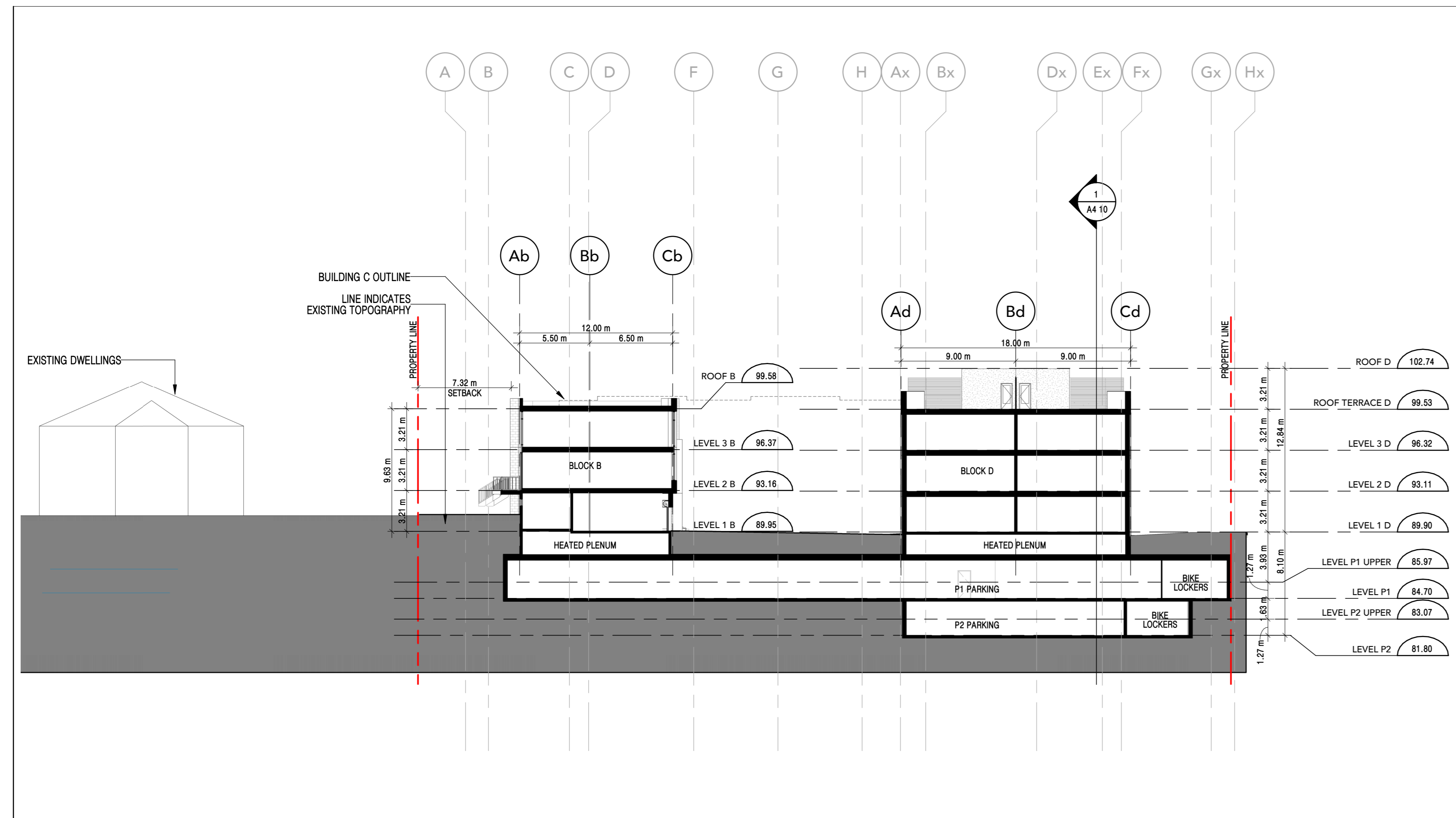


PROJECT NORTH TRUE NORTH
Project: **2055 BROCK ROAD**
BROCK RD DUFFINS FOREST INC.
PICKERING ON
Drawing Title: **BLOCK B, C & D - ELEVATIONS**
Project Manager Team: AT, AA
Date Plotted: 2022-10-25 5:46:13 PM
Project No: 17-119
Scale: As indicated
Drawing No.: 1 A4 02

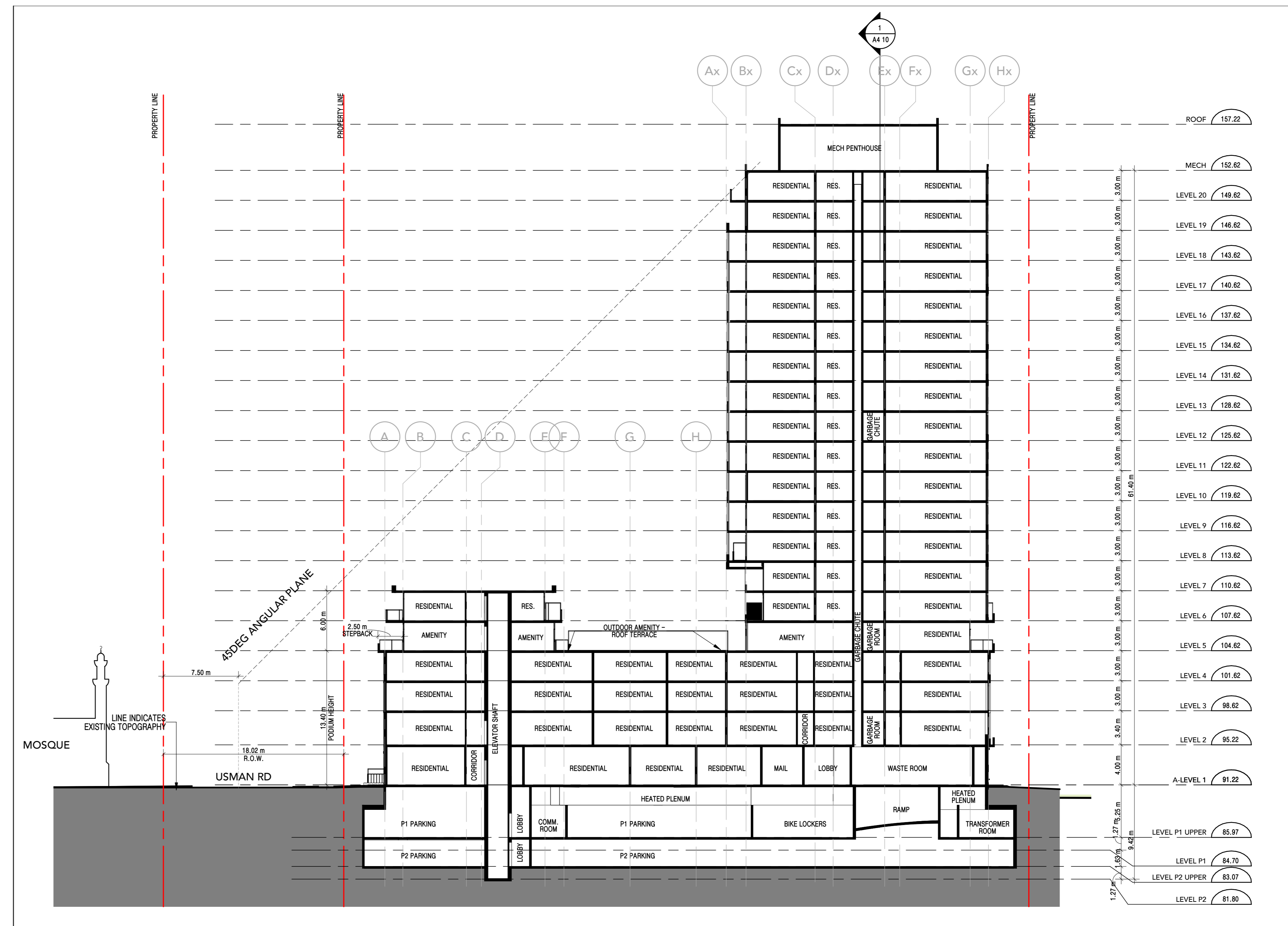
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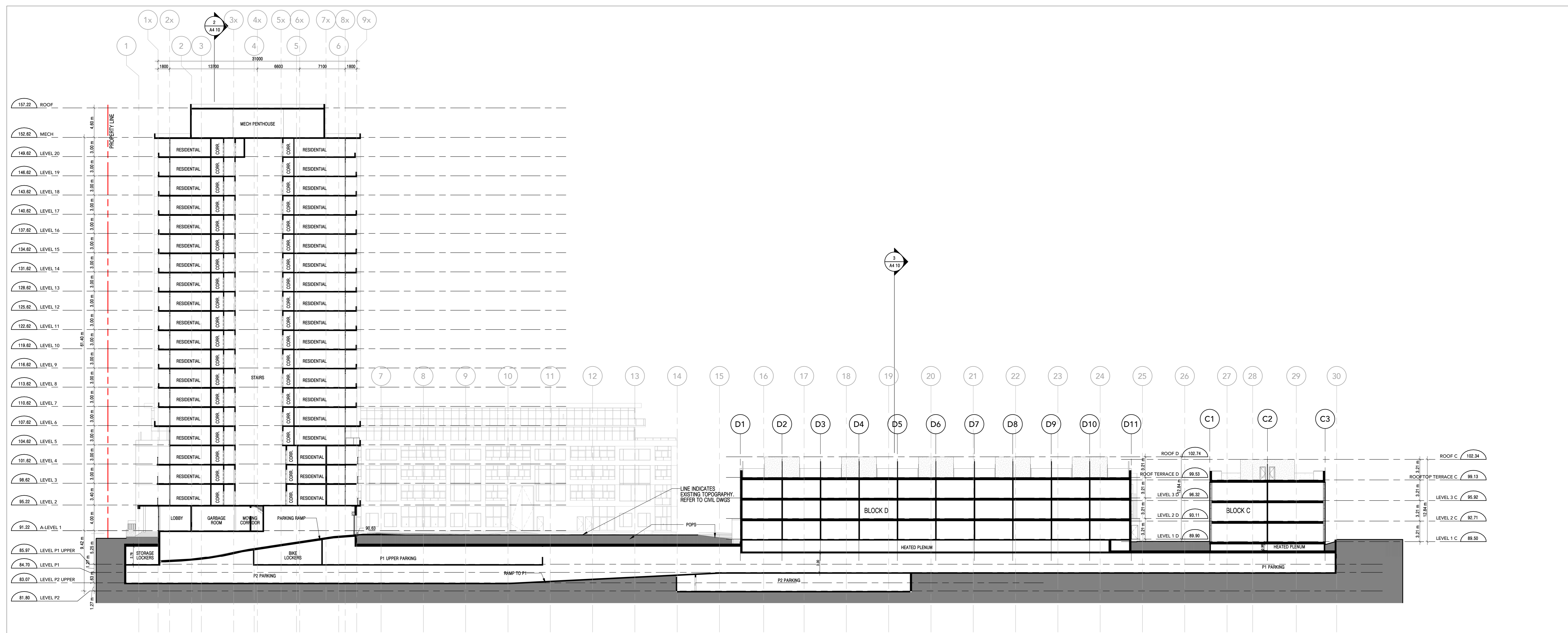
ISSUE DATES AND DISTRIBUTION LOG		
No.	Date	Note
1	2019-08-28	ISSUED FOR COORDINATION
2	2019-10-30	ISSUED FOR COORDINATION
3	2019-11-21	ISSUED FOR COORDINATION
4	2020-02-20	ISSUED FOR COORDINATION
5	2020-03-03	ISSUED FOR COORDINATION
6	2020-04-03	ISSUED FOR ZBA #1
7	2022-02-07	ISSUED FOR ZBA RESUBMISSION
8	2022-09-26	ISSUED FOR ZBA RESUBMISSION



SITE SECTION - NORTH/SOUTH AT TOWNS
SCALE: 1 : 250
3
A4 10



SITE SECTION - NORTH/SOUTH AT BLOCK A
SCALE: 1 : 250
2
A4 10



SITE SECTION - EAST/WEST
SCALE: 1 : 250
1
A4 10



Project: 2055 BROCK ROAD
BROCK RD DUFFINS FOREST INC.

PICKERING ON
Drawing Title: OVERALL SITE SECTIONS

Project Manager Team: AT_AA
Date Plotted: 2022-10-25 5:47:06 PM
Building No.:
Project No: 17-119
Scale: 1 : 250

A4 10